

FINAL SECTION 3 PLANS

for

WESTWOOD ESTATES SUBDIVISION

451 SALT ROAD

SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK

MOTION FOR A TYPE I ACTION - NEGATIVE DECLARATION

Whereas the Town of Webster Planning Board (Planning Board) considered the request by Applicant, Combat Construction LLC, to construct Cluster Development housing consisting of 106 single family lots on 85.0 acres of land of which 33.4 acres is proposed as open space. The project entails parcels having SHL # 050.04-1-72.11 and 050.04-1-71 and is located in an R-3 District (Single Family).

Whereas at its March 20, 2018 meeting, the Planning Board determined that the action is a Type I action, that the action is subject to a single agency review, that it was the most appropriate agency for making a determination of significance, and declared itself lead agency. The planning Board received no objections to its declaration of lead agency.

Whereas the Planning Board has given consideration to the criteria for determining significance as set forth in Section 617.7(c) (1) of SEQRA, and has

- considered the information contained in the Full Environmental Assessment Form Part 1 dated February 1, 2018,
- considered public comments directed to the Planning Board during sketch plan review on
 - September 19, 2017, and
 - October 17, 2017,
- considered public comments directed to the Planning Board during the Public Hearings on
 - March 20, 2018, and
 - November 6, 2018,
- considered public comments, presentations, and letters addressed to the Planning Board in regards to the Action,
- considered responses to said comments by applicants engineer,
- considered information provided in the document entitled, *Supplement to the Engineers Report and Environmental Assessment Form for the Webster West Subdivision* (Marathon Engineering, 10/16/18), and
- Completed Parts 2 and 3 of the Environmental Assessment Form.

NOW, THEREFORE, BE IT RESOLVED that the TOWN OF WEBSTER PLANNING BOARD hereby determines that the proposed project will not have a significant adverse effect on the environment for the reasons set forth in the attached Full Environmental Assessment Form, Part 3 - Evaluation of the Magnitude and Importance of Project Impacts and Determination of Significance; be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD is authorized to take all actions reasonable and necessary to file the Negative Declaration and discharge the TOWN OF WEBSTER PLANNING BOARD'S responsibility as lead agency for this action, be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD, based on the information and analysis above, the referenced supporting documentation, and discussions of the action by the TOWN OF WEBSTER PLANNING BOARD as documented by the Minutes for this and other meetings, that the proposed action WILL NOT result in any significant environmental impacts, be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD, therefore makes a DETERMINATION OF NON-SIGNIFICANCE, be it further,

RESOLVED, that the TOWN OF WEBSTER PLANNING BOARD, based on the above reasons issues a NEGATIVE DECLARATION as evidence of its determination.

RESOLUTION 18-117

Mr. Anderson made a motion to **Negative Declaration** seconded by Mr. Rampe as follows:

VOTE:

Mr. Anderson	AYE
Mr. Arena	AYE
Mr. Kosel	AYE
Mr. Malta	AYE
Mr. Maxwell	AYE
Mr. Casciani	AYE
Mr. Rampe	AYE

RESOLUTION 18-118

Mr. Casciani made a motion to **APPROVAL to WEBSTER WEST SUBDIVISION** - Located at 415 Salt Road (Webster West Golf Course).

PRELIMINARY SITE PLAN with conditions seconded by Mr. Malta as follows:

Conditions:

- Subject to PRC Comments
- Subject to Conservation Board comments
- Subject to Monroe County Water Authority comments
- Address any land to be conveyed to the Town or adjoining property owners (the four parcels that they are selling)
- All the improvements shall be constructed according to the specification of the Town of Webster.
- All roadway construction to be in accordance with the specification and regulations set forth by the Town of Webster.
- All site work is to be in compliance with the standards of the Town of Webster.
- Preserve all mature trees on site, where possible, and mark said trees by the developer's engineer prior to the commencing of any site work.
- Comply with all requirements of any Federal, State, County or Town agency.
- Drainage and swales should be installed before building permits

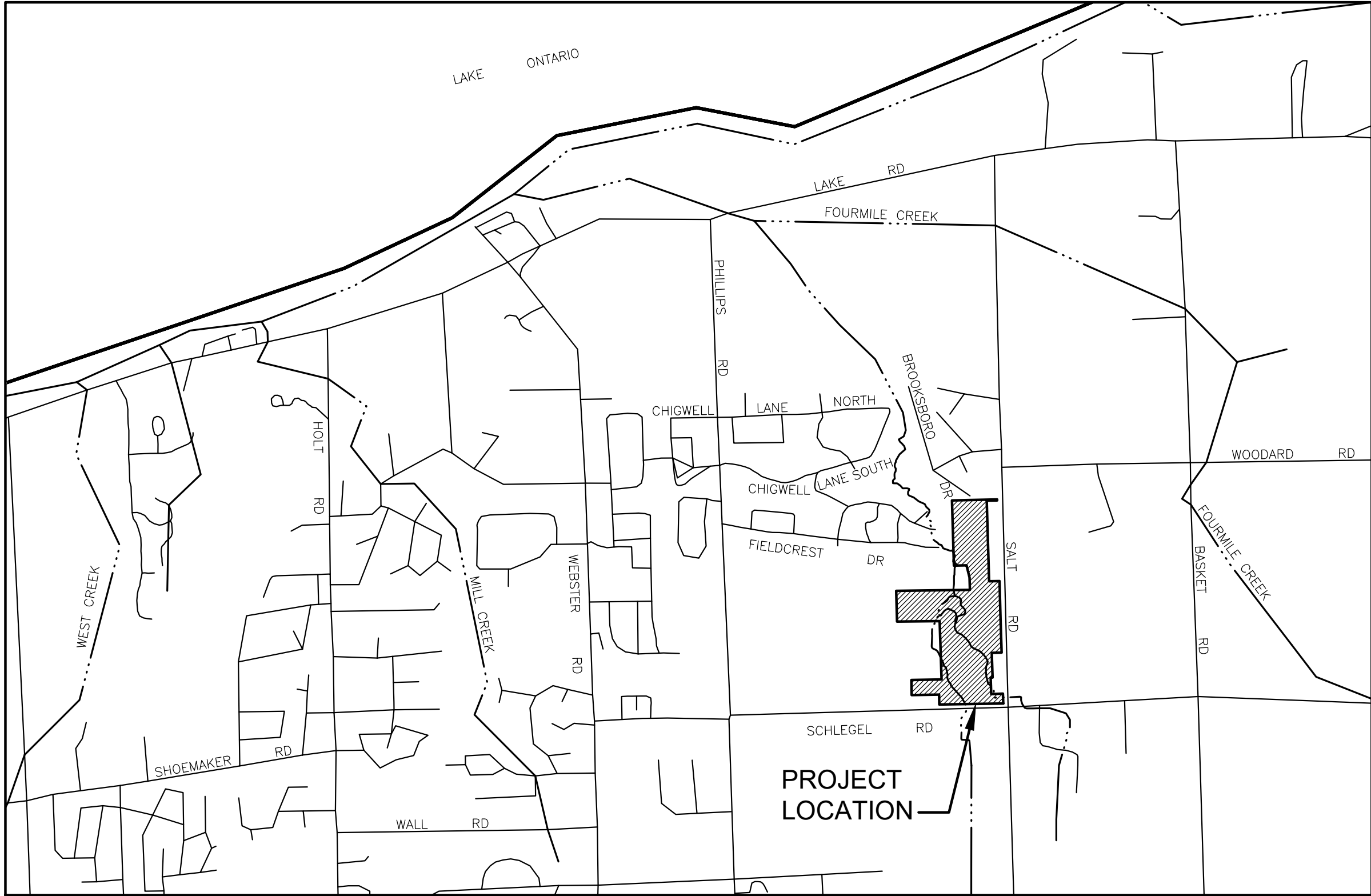
VOTE:

Mr. Anderson	AYE
Mr. Arena	AYE
Mr. Kosel	AYE
Mr. Malta	AYE
Mr. Maxwell	AYE
Mr. Casciani	AYE
Mr. Rampe	AYE

RESOLUTION 20-PB-0204

CONDITIONS:

- SUBJECT TO PRC COMMENTS
- SUBJECT TO PARKS AND RECREATION FEES (IF APPLICABLE)
- SUBJECT TO PRELIMINARY APPROVAL CONDITIONS
- SUBJECT TO DEPARTMENT OF PUBLIC WORKS APPROVAL
- SIGNIFICANT CONSTRUCTION SHALL OCCUR WITHIN ONE YEAR, AS DEEMED BY THE PLANNING BOARD, TO EXPIRE ON 7/6/22.
- THE CONDITIONS OF PRELIMINARY AND FINAL APPROVAL ARE DEPICTED ON THE COVER PAGE OF THE FINAL DESIGNED PLANS.
- THE ENGINEER FOR THE PROPOSED PROJECT SHALL PROVIDE A LETTER OF CERTIFICATION THAT ALL PROPOSED WORK WAS COMPLETED, AS PER PLANNING BOARD RESOLUTION OF FINAL APPROVAL, BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
- A LETTER OF CREDIT TO THE TOWN FOR THE PROJECT SHALL INCLUDE THE FEE FOR THE ENGINEER'S FINAL CERTIFICATION INSPECTION OF THE SITE.
- ALL STORMWATER FACILITIES ARE TO BE CONSTRUCTED FIRST.
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM SEWER SYSTEM.
- SUBJECT TO RESOLUTION OF THE FINAL APPROVED MINUTES.
- APPROVALS ARE SUBJECT TO DRAWING No. C1.0



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770

ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

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OF ROCHESTER, P.C.

SHEET INDEX		
SHEET NUMBER	DRAWING NUMBER	Sheet Description
--	COVER	COVER
01	C0.1	NOTES, ABBREVIATIONS, AND LEGEND
02	C0.2	OVERALL PLAN
03	SV2.1	SUBDIVISION MAP (SHEET 1 OF 2)
04	SV2.2	SUBDIVISION MAP (SHEET 2 OF 2)
05	C3.1	UTILITY PLAN
06	C3.2	UTILITY PLAN
07	C3.3	CULVERT PLAN AND STRUCTURE SCHEDULE
08	C4.1	GRADING PLAN
09	C4.2	GRADING PLAN
10	C4.3	EROSION CONTROL PLAN
11	C4.4	EROSION CONTROL PLAN
12	C6.1	ROAD PROFILE
13	C9.0	CONSTRUCTION DETAILS
14	C9.1	CONSTRUCTION DETAILS
15	C9.2	CONSTRUCTION DETAILS
16	C9.3	CONSTRUCTION DETAILS

NOTES, INFORMATION AND SPECIFICATIONS

GENERAL

- 1. APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- 2. MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- 3. STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 4. PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- 5. ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- 6. SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHS/A). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 7. EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- 8. MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 9. CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 10. PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER CONTRACTOR AGREEMENT.

CONSTRUCTION

- 1. STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- 2. BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM "BOUNDARY SURVEY MAP PREPARED FOR WEBSTER GOLF COURSE WEST" PREPARED BY MAGDE LAND SURVEYING, P.C. DATED 12/7/2013 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- 3. DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- 4. COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- 5. STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- 6. CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS.
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING REDLINES FOR RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

UTILITIES

1. SANITARY

1.1 MATERIALS

- **MAINS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET: ASTM D-3034 (4" THRU 18")
- **LATERALS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21 OR SCH. 40 4 INCHES IN DIAMETER. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
- **JOINTING MATERIALS** - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
- **MANHOLES** - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.

- **1.2 INFILTRATION/ EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).

- **1.3 FLOOR DRAINS** - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. **NOTE:** FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

- **1.4 TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%, IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANHOLE. IT SHALL HAVE DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

- **1.5 SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.

UTILITIES (CONT.)

2. STORM

- **2.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY.
- **2.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER.
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - CORRUGATED STEEL PIPE (CSP), 16 GAUGE, ASPHALT COATED-SMOOTH BORE
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-29, TYPE S, ASTM D-3350.
 - LATERALS SHALL BE SDR-21, 6 INCHES IN DIAMETER.

- **2.3 ROOF DRAINAGE** - UNLESS OTHERWISE NOTED ON THE PLANS, ALL ROOF DRAINAGE SHALL BE DIRECTED TO SPLASH BLOCKS OR DAYLIGHTED TO THE REAR OF THE LOT. PUMP PUMPS SHALL BE CONNECTED TO THE STORM LATERALS.

- **2.4 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

3. PUBLIC WATER EXTENSION (MCWA AND MCPHD)

- **3.1 SPECIFICATIONS** - WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.

3.2 MATERIAL:

- WATER MAIN(S) SHALL BE 8-INCH DUCTILE IRON ZINC COATED CLASS 52.

- WATER SERVICE(S) SHALL BE 1-INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1-INCH (TYPE K SOFT COPPER OR PE #3408) FROM THE CURB BOX TO THE METER.

- WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.

- ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.

3.3 TESTS:

- **SOIL** - THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANSI/AWS C108/A11 5-92 PRIOR TO WATER MAIN INSTALLATION. SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
- **PRESSURE** - THE WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATION. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
- **HEALTH SAMPLE** - THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-651, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTING THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

3.4 INSTALLATION:

- WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.

- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTIONS OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES, OR VAULTS.

- FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.

- ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS.

3.5 DISINFECTION

- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

3.6 SAMPLING - THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS

- THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7208(1) OF THE EDUCATION LAW CERTIFYING THAT THE WATER MAIN IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.

3.7 PRIVATE SERVICES

LOTS WITH PRIVATE SERVICES: 27 (LOTS 211-213, 219-225, 227-233)
EXCEPTION LOTS 4 (LOTS 214, 216, 218, 217)
LOT 218 TO USE EXISTING WATER SERVICE FOR BUILDING TO REMAIN
(LOTS 225 AND 317 WILL BE CONSIDERED AN EXCEPTION LOT FOR SECTION-3 CONSTRUCTION)

ABBREVIATIONS			
ABBR.	TERM	ABBR.	TERM
AC.	ACRE	LS	LUMP SUM
A.O.B.E.	AS ORDERED BY ENGINEER	LT.	LEFT
ASH.	ASPHALT	MB.	MAILBOX
AZ.	AZIMUTH	M.O.	MIDDLE ORDNATE
B.	BASELINE	MON.	MONUMENT OR MONTH
BM	BENCHMARK	MCS.	MONROE COUNTY GEODETIC SURVEY
CL	CENTERLINE	M.H.	MANHOLE
CLF	CHAIN LINKED FENCE	NEC.	NECESSARY
C.O.	CLEAR-OUT	N.I.C.	NOT-IN CONTRACT
CONC.	CONCRETE	NIS.	NOT TO SCALE
COP	CORRUGATED POLYETHYLENE PIPE	N/F	NOW OR FORMERLY
CSP	CORRUGATED STEEL PIPE	PAV.T.	PAVEMENT
COV.	COVER	PE	POLYETHYLENE PIPE
CB	CURB BOX	PPE	PERFORATED POLYETHYLENE PIPE
CY	CUBIC YARD	R.	RADIUS
D.	DEGREE OF CURVE	RCP	REINFORCED CONCRETE PIPE
DIA.	DIAMETER	RG&E	ROCHESTER GAS AND ELECTRIC
DI	DROP INLET	R.O.W.	RIGHT-OF-WAY
D.I.P.	DUCTILE IRON PIPE	RT	RIGHT
E.A.	EACH	RTC	ROCHESTER TELEPHONE COMPANY
E.C.	ENGINEER IN CHARGE	SA.	SANITARY SEWER
ELEV.	ELEVATION	ST.	STORM SEWER
EF	EDGE OF PAVEMENT	STA.	STATION
FI	FINISH FLOOR = FINISH FLOOR ELEVATION	STY.	STORY
FR.	FRAME	SV	SQUARE YARD
FP	FINISH PAD = GARAGE FLOOR ELEVATION	T.	TANGENT DISTANCE
FT	FEET	TGL	THEORETICAL GRADE LINE
G.	GAS MAIN	TYPICAL	TYPICAL
GAL.	GALLON	VC	VERTICAL CURVE
GR.	GRAVEL	VTP	VITRIFIED TILE PIPE
G.R.	GUIDE RAIL	A	CENTRAL ANGLE
HCL	HORIZONTAL CONTROL LINE		
HYD.	HYDRANT		
INV.	INVERT		
IP	IRON PIPE OR IRON PIN		
L	LENGTH OR LENGTH OF CURVE		
LF	LINEAR FEET		
LP	LIGHT POST (PRIVATE)		

EARTHWORK

- 1. PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- 2. RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF THE EXISTING CONSTRUCTION MATERIALS, VEHICLES AND/OR IMPROPER DRAINAGE AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.

- **3. TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
 - **95%- 99%** IN ALL FILL AREAS WITHIN THE R.O.W.
 - **95%** UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - **95%** IN REMAINING AREAS

THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

- **4. LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.

- **5. PROOF ROLLING** - THE TOWN OF WEBSTER HIGHWAY DEPARTMENT SHALL BE NOTIFIED PRIOR TO A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS BEING PERFORMED PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

- **6. EXISTING SOIL CONDITIONS** - NO EXISTING SOIL INFORMATION HAS BEEN PROVIDED BY THE OWNER/ DEVELOPER. IT IS ASSUMED THAT SOILS ARE SUITABLE FOR CUTS AND FILLS. FOR PURPOSES OF DESIGN 12" OF TOPSOIL WAS ASSUMED TO BE PRESENT ON AVERAGE THROUGHOUT THE SITE.

- **7. DEWATERING** - THE CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING PRACTICES INCLUDING DRYING OF MATERIAL TO ACCOMPLISH COMPACTION IN FILL AREAS AND DEMONSTRATING SUITABILITY OF SUBGRADE.

EROSION CONTROL

- **1. CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.

- **2. CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.

- **3. INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.

- **4. NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-15-02. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-15-02. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).

- **5. PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

- **6. TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.

- **7. SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED. RILLS SHALL BE IMMEDIATELY ADDRESSED AND STABILIZED AS NEEDED WITH JUTE MESH OR REAPPLICATION OF MULCH.

- **8. DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.

- **9. OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.

- **10. WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.

- **11. SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL, STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

RESTORATION AND LANDSCAPING

- 1. GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- 2. TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- 3. SEED** - LAWN AREAS SHALL BE HYDROSEED WITH AN APPROVED, SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.

MONROE COUNTY DEPARTMENT OF TRANSPORTATION NOTES

- 1. PERMITS** - AFTER M.C.D.O.T. APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND 239-F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
- 2. DRAINAGE** - HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE APPLICANT WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION.
- 3. MATERIALS** - ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DETAILS IN EFFECT WHEN INSTALLED.
- 4. UTILITY CROSSINGS** - ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY, IF APPLICABLE. NO OPEN CUT IS ALLOWED.

EXISTING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SIGN		CENTERLINE OF SWALE
	LIGHT POLE		CONTOUR
	POWER POLE		DRAINAGE FLOW ARROW
	GAS MAIN & VALVE		SPOT ELEVATION
	ELECTRIC CONDUIT & STRUCTURE		TREE LINE
	TELEPHONE CONDUIT & STRUCTURE		PARKING SPACE COUNT
	CENTERLINE AND STATIONING		WETLAND LIMITS
	PROPERTY LINE		DECIDUOUS TREE
	RIGHT-OF-WAY		CONIFEROUS TREE
	CURB		BUSH/SHRUB
	FENCE (DESCRIPTION)		
	SANITARY SEWER WITH MANHOLE		
	STORM SEWER, MANHOLE & DROP INLET		
	WATER MAIN WITH HYDRANT & GATE VALVE		

PROPOSED LEGEND

SYMBOL	DESCRIPTION
	SIGN
	CENTERLINE AND STATIONING
	RIGHT-OF-WAY OR PROPERTY LINE
	CURB
	FENCE (DESCRIPTION)
	SANITARY SEWER WITH MANHOLE
	STORM SEWER, MANHOLE & DROP INLET
	WATER MAIN WITH HYDRANT & GATE VALVE
	CENTERLINE OF SWALE
	CONTOUR
	DRAINAGE FLOW ARROW
	SPOT ELEVATION
	TREE LINE
	TREE PROTECTION

TOWN OF WEBSTER

- ALL TAXES AND FEES ON LANDS TO BE DEDICATED TO THE TOWN ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL SAID DEDICATION OCCURS. THE TOWN WILL NOT BE RESPONSIBLE FOR THE DEDICATION OF ANY LANDS PRIOR TO A MINIMUM OF 80% OF THE BUILDING LOTS OBTAINING CERTIFICATES OF OCCUPANCY.

MARATHON ENGINEERING
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39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

FINAL SECTION 3 PLANS for WESTWOOD ESTATES SUBDIVISION

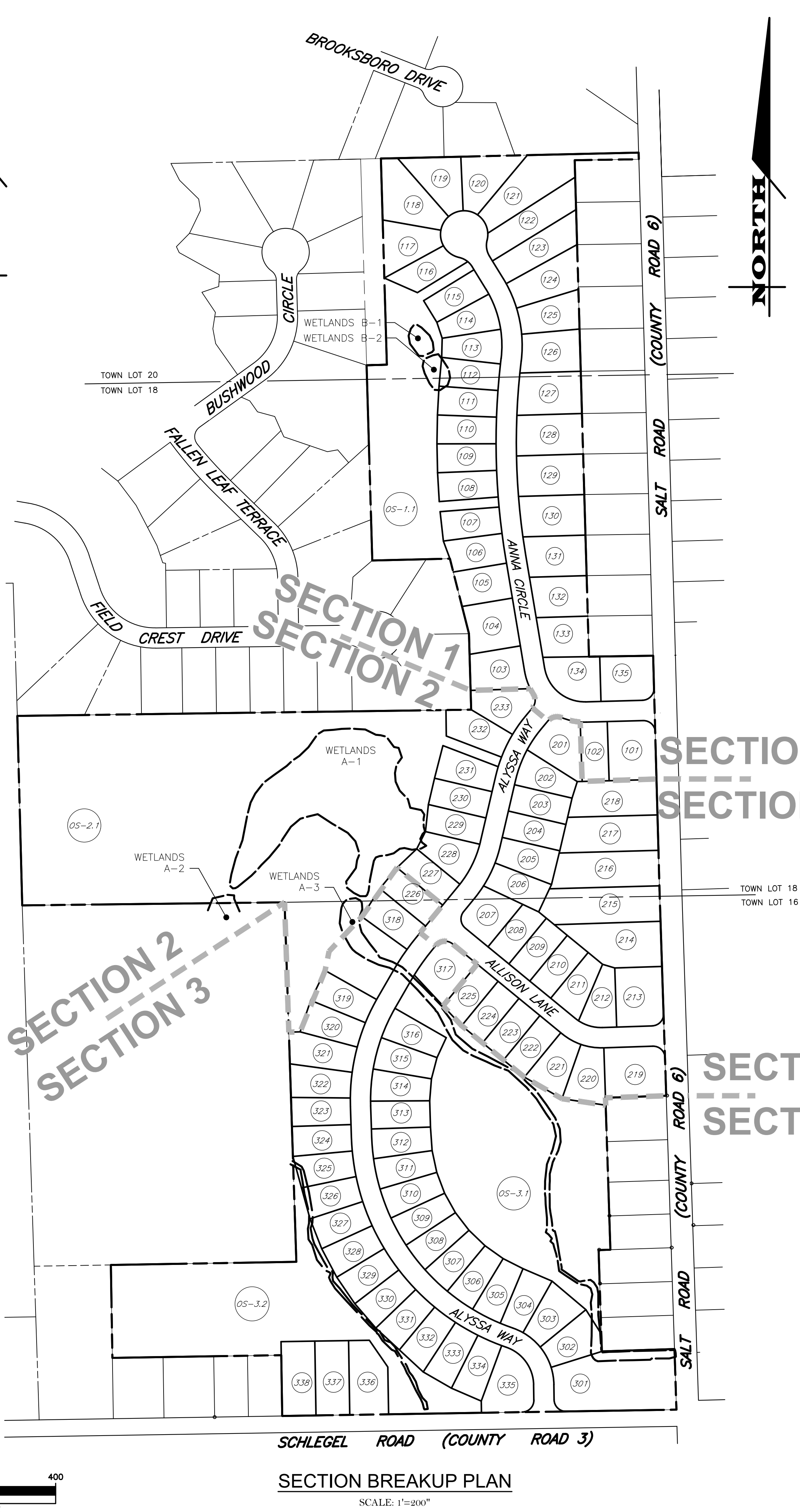
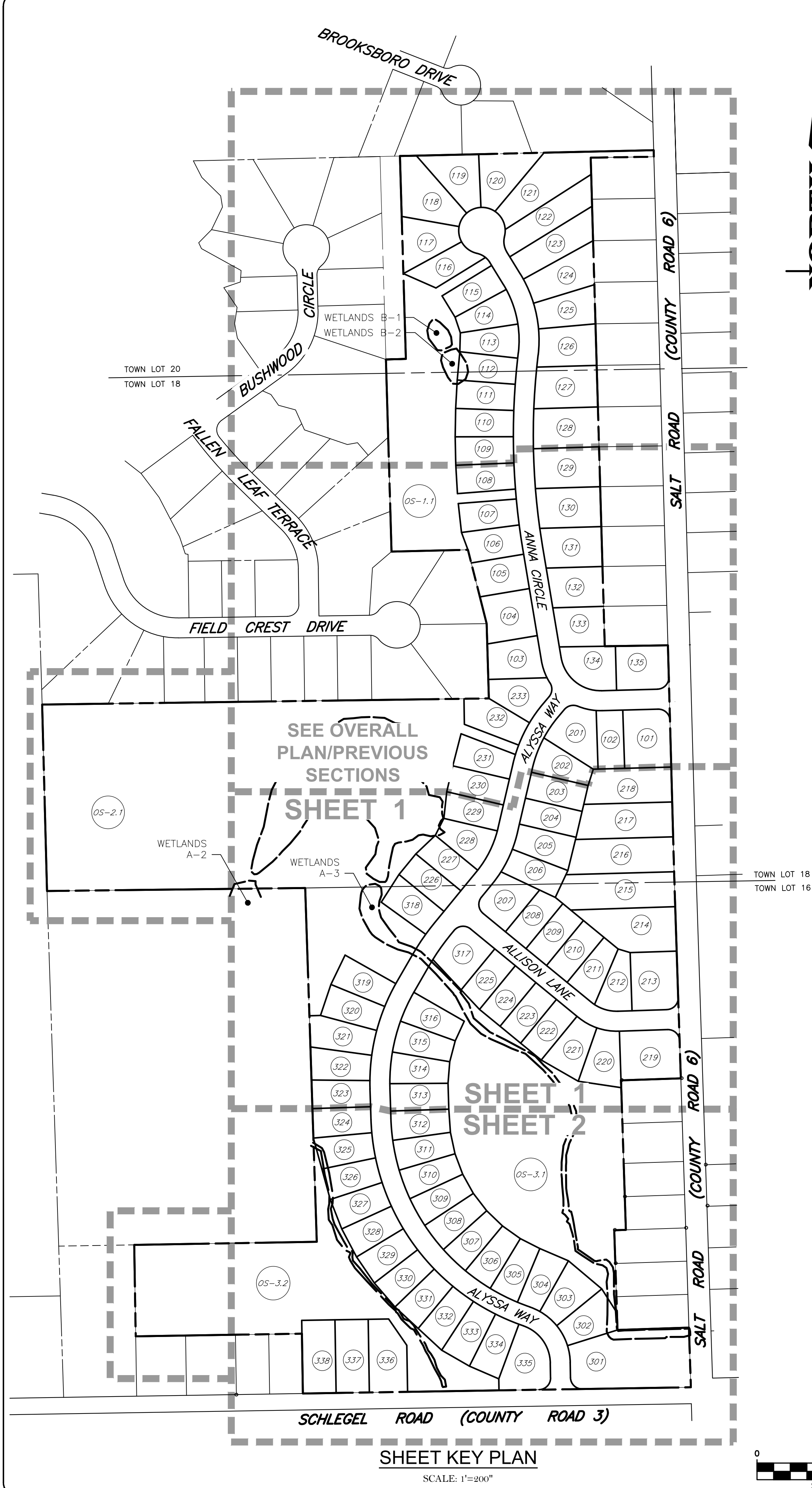
STATE OF NEW YORK

MONROE COUNTY

TOWN OF WEBSTER

JOB NO:	0761-23
SCALE:	N/A
DRAWN:	PBG
DESIGNED:	RPB
DATE:	04/16/2024

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- PROJECT INFORMATION**
- 1. GENERAL**
- 1.1. APPLICANT REQUEST:
THE APPLICANT IS REQUESTING THE TOWN PLANNING BOARD TO CONSIDER DEVELOPMENT OF THIS 85.2 ACRE PARCEL AS A CLUSTER DEVELOPMENT PLAN. THE PROJECT DENSITY (NUMBER OF LOTS) SHALL NOT EXCEED WHAT IS ALLOWABLE UNDER CURRENT ZONING. A REDUCTION IN LOT SIZE WILL ALLOW FOR "CLUSTERING" OF THE DEVELOPMENT. THIS APPROACH WILL ALLOW FOR "GREEN BUFFERS", REDUCTION IN INFRASTRUCTURE, AND COMPLIANCE WITH THE "GREEN DEVELOPMENT" INITIATIVE REQUIRED BY NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- 1.2. TAX ACCOUNT:
050.04-0001-71.00 0.5 ACRES
050.04-0001-72.11 84.7 ACRES
TOTAL 85.2 ACRES
- 2. EXISTING ZONING AND REGULATIONS**
- 2.1. PARCEL IS ZONED R-3 (SECTION 225-11) SINGLE FAMILY RESIDENTIAL
- 2.2. CODE REQUIREMENTS UNDER R-3 ZONE:
- | LOT SIZE | 22,000 SF (MIN.) |
|--|--|
| LOT WIDTH <td>100 FT (AT SET BACK LINE)</td> | 100 FT (AT SET BACK LINE) |
| LOT COVERAGE <td>20% (MAXIMUM BUILDING IMPERVIOUS AREA)</td> | 20% (MAXIMUM BUILDING IMPERVIOUS AREA) |
- SETBACKS (FT)**
- | | |
|---------------|----|
| FRONT | 50 |
| SIDE | 15 |
| REAR | 50 |
| CORNER POINT | 40 |
| SIDE DRIVEWAY | 5 |
- HABITABLE FLOOR AREA (SF)**
- | | |
|-------------|-------|
| ONE STORY | 1,200 |
| > ONE STORY | 1,560 |
- 3. PROPOSED LOT BREAKDOWN**
- | | |
|-------------|-----|
| SECTION 1 : | 35 |
| SECTION 2 : | 31 |
| SECTION 3 : | 39 |
| TOTAL : | 106 |

4. COMPARISON OF EXISTING TO PROPOSED REGULATIONS UNDER THIS TL278 APPLICATION

ITEM	REQUIRED		REDUCTION	
	R3 ZONING	PROPOSED CLUSTER	QUANTITY	PERCENT
LOT SIZE (SF)	22,000	13,177 *	8,823	40%
LOT WIDTH (FT)	100	80 **	20	20%
FRONT SETBACK (FT)	50	AS SHOWN	VARIES	VARIES
SIDE SETBACK (FT)	15	7.5	10	67%
REAR SETBACK (FT)	50	40 ***	VARIES	VARIES
FRONT CORNER SETBACK (FT)	40	30	10	25%
FRONT SETBACK-MAJOR HIGHWAY (FT)	60	60	—	—
FRONT CORNER SETBACK-MAJOR HIGHWAY (FT)	50	50	—	—
PROJECT DENSITY (MAX # OF LOTS)	106	106	—	—
LENGTH OF TOWN DEDICATED ROAD & INFRASTRUCTURE (FT)	7,107	5,111	1,996	28%

*SMALLEST LOT. THE AVERAGE LOT AREA BASED ON 80' WIDTH & 175' DEPTH IS 14,000SF
**80' WIDE AT THE FRONT SETBACK OR THE REAR BUILDING LINE.
***UNLESS NOTED OTHERWISE

SIGHT DISTANCE TABLE

PROPOSED INTERSECTION (COUNTY ROAD SPEED LIMIT AT INTERSECTION)	SIGHT CRITERIA	REQUIRED	AVAILABLE LEFT	AVAILABLE RIGHT
ANNA CIRCLE (SPEED LIMIT: 40MPH)	INTERSECTION SIGHT DISTANCE	445 FEET	1,500 FEET	1,300 FEET
	STOPPING SIGHT DISTANCE	305 FEET		
ALYSSA WAY (SPEED LIMIT: 40MPH)	INTERSECTION SIGHT DISTANCE	445 FEET	1,500 FEET	1,200 FEET
	STOPPING SIGHT DISTANCE	305 FEET		
ALLISON LANE (SPEED LIMIT: 40MPH)	INTERSECTION SIGHT DISTANCE	445 FEET	1,500 FEET	430 FEET
	STOPPING SIGHT DISTANCE	305 FEET		

MONROE COUNTY
DEPT. OF TRANSPORTATION

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

MARATHON ENGINEERING
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607-241-2917
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FINAL SECTION 3 PLANS
for
WESTWOOD ESTATES
SUBDIVISION

STATE OF NEW YORK
MONROE COUNTY
TOWN OF WEBSTER
451 SALT ROAD

JOB NO: 0761-23
SCALE: 1"=200"
DRAWN: PBG
DESIGNED: RPB
DATE: 04/16/2024

REVISIONS

DATE	BY	REVISION
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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 2208 FOR ANY PERSON, UNLESS NOTICED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER ANY DRAWING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF ANY, THEREON. THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A SYMBOL OF THE PUBLIC TRUST. ANY VIOLATION OF THIS ARTICLE IS A VIOLATION OF THE PROFESSIONAL ENGINEERING OR LAND SURVEYING ACT AND IS A VIOLATION OF THE PROFESSIONAL ENGINEERING OR LAND SURVEYING ACT AND IS A VIOLATION OF THE PROFESSIONAL ENGINEERING OR LAND SURVEYING ACT.

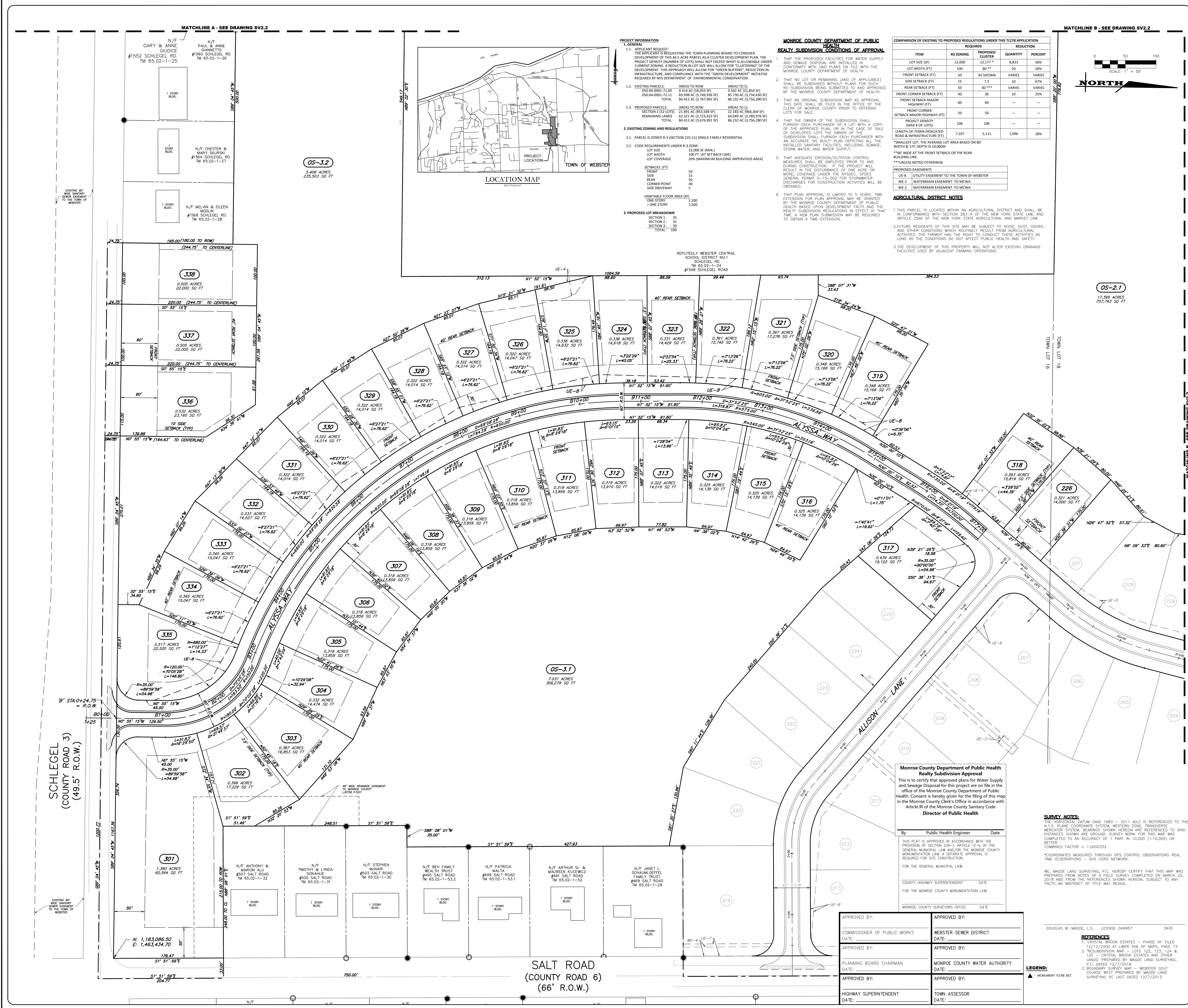
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STATE OF NEW YORK
ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
066924
ROBERT P. BRINGLEY

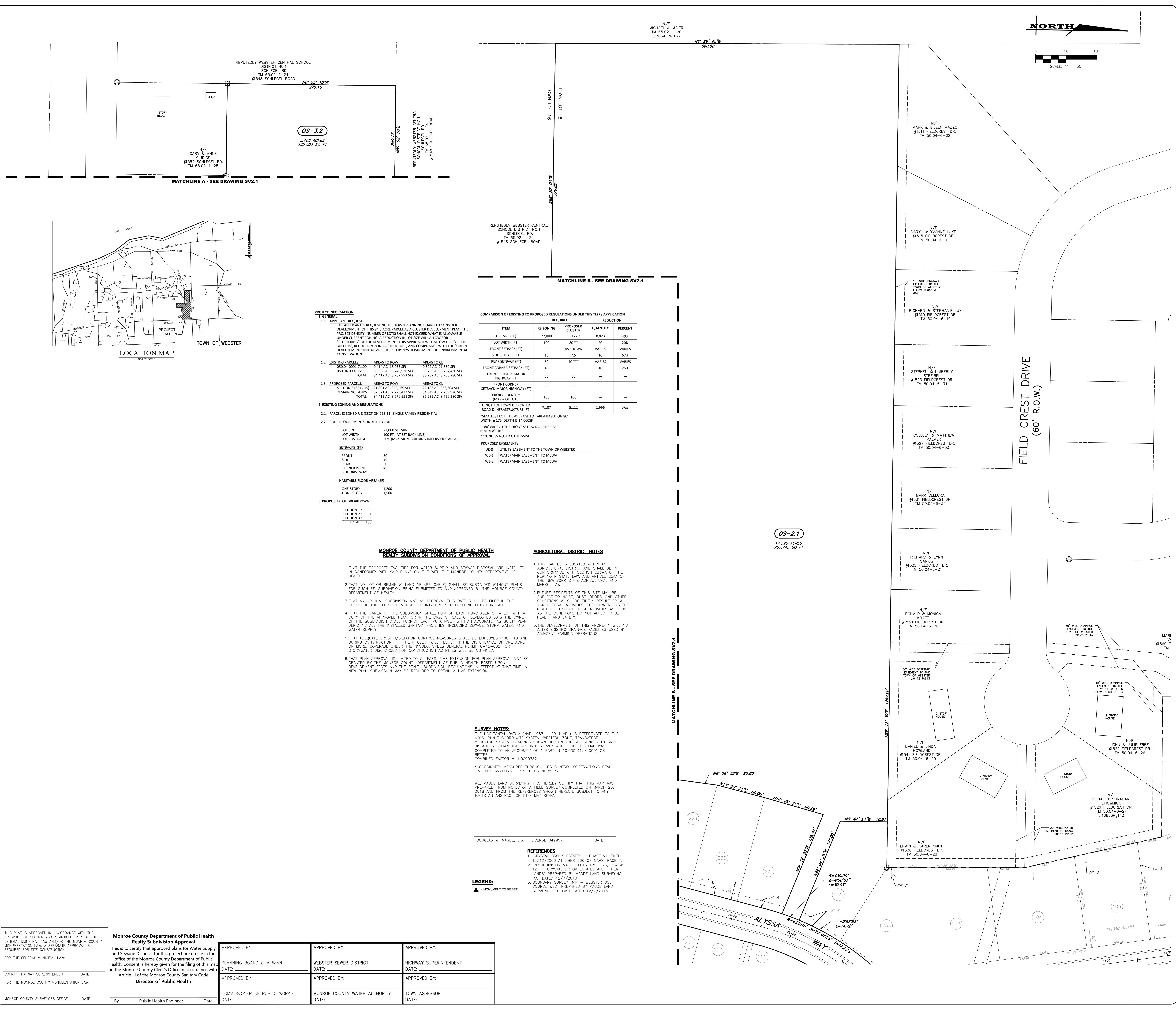
DRAWING TITLE:
OVERALL PLAN

02 of 16
SHEET No: **C0.2**
0761-23
JOB No: DRAWING No:

File: z:\engineering\job files\0781-18 Drawings\section 3\ Sheets\CDX.dwg, Last saved: 4/16/2024, By: RCDMAN, Plot Style: MARATHON STANDARD.CTB



MATCHLINE SEE DRAWING CS-2



THIS PLAT IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 239-A, ARTICLE 12-B OF THE GENERAL MUNICIPAL LAW AND/OR THE MONROE COUNTY MONUMENTATION LAW. A SEPARATE APPROVAL IS REQUIRED FOR SITE CONSTRUCTION.

FOR THE GENERAL MUNICIPAL LAW:

COUNTY HIGHWAY SUPERINTENDENT DATE

FOR THE MONROE COUNTY MONUMENTATION LAW:

MONROE COUNTY SURVEYORS OFFICE DATE

Monroe County Department of Public Health

Realty Subdivision Approval

This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article III of the Monroe County Sanitary Code

Director of Public Health

By: Public Health Engineer Date

APPROVED BY:	APPROVED BY:	APPROVED BY:
PLANNING BOARD CHAIRMAN	WEBSTER SEWER DISTRICT	HIGHWAY SUPERINTENDENT
DATE:	DATE:	DATE:
APPROVED BY:	APPROVED BY:	APPROVED BY:
COMMISSIONER OF PUBLIC WORKS	MONROE COUNTY WATER AUTHORITY	TOWN ASSESSOR
DATE:	DATE:	DATE:

PROJECT INFORMATION

- GENERAL
1.1. APPLICANT REQUEST:
THE APPLICANT IS REQUESTING THE TOWN PLANNING BOARD TO CONSIDER DEVELOPMENT OF THIS 84.5406 ACRES PARCEL AS A CLUSTER DEVELOPMENT PLAN. THE PROJECT DENSITY (NUMBER OF LOTS) SHALL NOT EXCEED WHAT IS ALLOWABLE UNDER CURRENT ZONING. A REDUCTION IN LOT SIZE WILL ALLOW FOR "CLUSTERING" OF THE DEVELOPMENT. THIS APPROACH WILL ALLOW FOR "GREEN BUFFERS", REDUCTION IN INFRASTRUCTURE, AND COMPLIANCE WITH THE "GREEN DEVELOPMENT" INITIATIVE REQUIRED BY NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
1.2. EXISTING PARCELS:
AREAS TO ROW: 0.502 AC (13,850 SF)
AREAS TO CL: 83.998 AC (3,749,936 SF)
TOTAL: 84.412 AC (3,767,991 SF)
1.3. PROPOSED PARCELS:
AREAS TO ROW: 23.188 AC (953,569 SF)
AREAS TO CL: 62.521 AC (2,732,422 SF)
REMAINING LANDS: 64.432 AC (3,876,901 SF)
TOTAL: 86.233 AC (3,756,280 SF)
2. EXISTING ZONING AND REGULATIONS
2.1. PARCEL IS ZONED R-3 (SECTION 225-13) SINGLE FAMILY RESIDENTIAL
2.2. CODE REQUIREMENTS UNDER R-3 ZONE:
LOT SIZE: 22,000 SF (MIN.)
LOT WIDTH: 100 FT. (AT SET BACK LINE)
LOT COVERAGE: 20% (MAXIMUM BUILDING IMPERVIOUS AREA)
SETBACKS (FT):
FRONT: 50
SIDE: 15
REAR: 50
CORNER POINT: 40
SIDE DRIVEWAY: 5
HABITABLE FLOOR AREA (SF):
ONE STORY: 1,200
> ONE STORY: 1,560
3. PROPOSED LOT BREAKDOWN
SECTION 1: 35
SECTION 2: 31
SECTION 3: 39
TOTAL: 106

COMPARISON OF EXISTING TO PROPOSED REGULATIONS UNDER THIS T1278 APPLICATION				
ITEM	R3 ZONING	PROPOSED CLUSTER	REDUCTION	
			QUANTITY	PERCENT
LOT SIZE (SF)	22,000	13,277 *	8,823	40%
LOT WIDTH (FT)	100	80 **	20	20%
FRONT SETBACK (FT)	50	AS SHOWN	VARIES	VARIES
SIDE SETBACK (FT)	15	7.5	10	67%
REAR SETBACK (FT)	50	40 ***	VARIES	VARIES
FRONT CORNER SETBACK (FT)	40	30	10	25%
FRONT SETBACK MAJOR HIGHWAY (FT)	60	60	—	—
FRONT CORNER SETBACK MAJOR HIGHWAY (FT)	50	50	—	—
PROJECT DENSITY (MAX # OF LOTS)	106	106	—	—
LENGTH OF TOWN DEDICATED ROAD & INFRASTRUCTURE (FT)	7,107	5,111	1,996	28%

*SMALLEST LOT: THE AVERAGE LOT AREA BASED ON 80' WIDTH & 175' DEPTH IS 14,000SF
**NO WIDE AT THE FRONT SETBACK OR THE REAR BUILDING LINE.
***UNLESS NOTED OTHERWISE

PROPOSED EASEMENTS:
UE-8 UTILITY EASEMENT TO THE TOWN OF WEBSTER
WE-1 WATERMAIN EASEMENT TO MCWA
WE-2 WATERMAIN EASEMENT TO MCWA

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION CONDITIONS OF APPROVAL

1. THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH SAID PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF HEALTH.
2. THAT NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
3. THAT AN ORIGINAL SUBDIVISION MAP AS APPROVAL THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
4. THAT THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN, OR IN THE CASE OF SALE OF DEVELOPED LOTS THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS BUILT" PLAN DEPICTING ALL THE INSTALLED SANITARY FACILITIES, INCLUDING SEWAGE, STORM WATER, AND WATER SUPPLY.
5. THAT ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC, SPDES GENERAL PERMIT 0-15-002 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES WILL BE OBTAINED.
6. THAT PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSION FOR PLAN APPROVAL MAY BE GRANTED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.

SURVEY NOTES:

1. HORIZONTAL DATUM (NAD 1983 - 2011 ADU) IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM. BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCES SHOWN ARE GROUND. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
COMBINED FACTOR = 1.00000332

*COORDINATES MEASURED THROUGH GPS CONTROL OBSERVATIONS REAL TIME OBSERVATIONS - NYS CORE NETWORK

WE, MAGDE LAND SURVEYING, P.C. HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON MARCH 25, 2018 AND FROM THE REFERENCES SHOWN HEREON. SUBJECT TO ANY FACTS AN ABSTRACT OF TITLE MAY REVEAL.

REFERENCES

1. CRYSTAL BROOK ESTATES - PHASE 'VI' FILED 12/12/2000 AT LIBER 306 OF MAPS, PAGE 73
2. RESUBDIVISION MAP - LOTS 122, 123, 124 & 125 - CRYSTAL BROOK ESTATES AND OTHER LANDS PREPARED BY MAGDE LAND SURVEYING, P.C. DATED 12/7/2018
3. BOUNDARY SURVEY MAP - WEBSTER GOLF COURSE WEST PREPARED BY MAGDE LAND SURVEYING P.C. LAST DATED 12/7/2013.

LEGEND:

▲ MONUMENT TO BE SET

DOUGLAS W. MAGDE, L.S. LICENSE 049957 DATE

MARATHON ENGINEERING
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607-241-2917
www.marathoneng.com

PLAT MAP for
WESTWOOD ESTATES SUBDIVISION - SECTION 3
PART OF LOTS 16, 18 & 20, TOWNSHIP 14, RANGE 4 OF THE PHELPS & GORHAM PURCHASE
STATE OF NEW YORK
TOWN OF WEBSTER
451 SALT ROAD
MONROE COUNTY

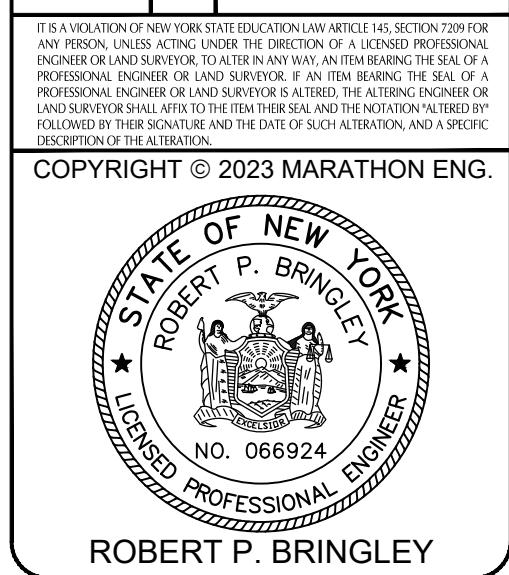
JOB NO: 0781-23
SCALE: AS SHOWN
DRAWN: RJT
DESIGNED: RPB
DATE: 04/16/2024

REVISIONS

DATE	BY	REVISION
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DRAWING TITLE:
SUBDIVISION MAP (SHEET 2 OF 2)

04 of 16
SHEET No: **SV2.2**
0781-23
JOB No: DRAWING No:

DRAWING TITLE: UTILITY PLAN	
05 of 16 SHEET No:	C3.1
0761-23 JOB No:	
DRAWING No:	



FINAL SECTION 3 PLANS
for
WESTWOOD ESTATES
SUBDIVISION

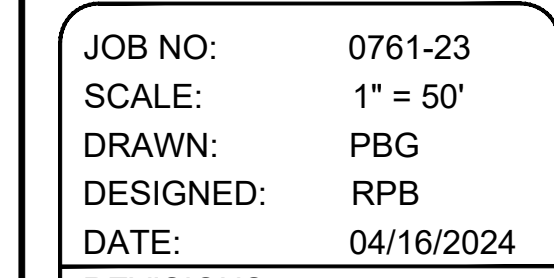
STATE OF NEW YORK

451 SALI ROAD
MONROE COUNTY

TOWN OF WEBSTER

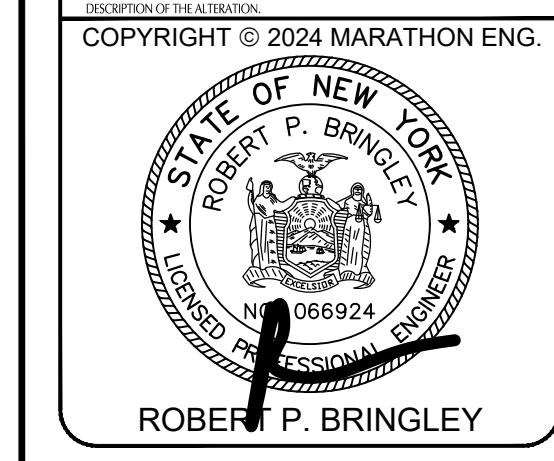
SANITARY STRUCTURE TABLE		
NAME & DESCRIPTION:	STATION & OFFSET:	DETAILS:
SA-19 1/4 CONC MH	3+23.22 -27.50	RIM = 354.60 INV #=354.62 (NW) INV #=354.62 (NE)
SA-20 4 CONC MH	14+56.02 -35.00	RIM = 355.63 INV #=350.37 (S) INV #=351.37 (NE)
SA-21 4 CONC MH	12+60.74 -35.00	RIM = 356.26 INV #=351.16 (S) INV #=351.06 (NE)
SA-22 4 CONC MH	10+34.34 -35.00	RIM = 357.42 INV #=351.16 (S) INV #=352.21 (N)
SA-23 4 CONC MH	8+14.62 -35.00	RIM = 358.52 INV #=351.16 (S) INV #=353.35 (N)
SA-24 4 CONC MH	5+94.01 -35.00	RIM = 359.62 INV #=351.16 (S) INV #=354.49 (NW)
SA-25 4 CONC MH	4+48.43 -28.50	RIM = 360.11 INV #=358.35 (SE) INV #=358.35 (NE)
SA-26 4 CONC MH	2+12.45 -28.50	RIM = 361.32 INV #=356.50 (S) INV #=356.50 (NE)
SA-27 4 CONC MH	1+06.93 -27.50	RIM = 362.87 INV #=366.88 (N)

- NOTE:
1. CULVERT INSTALLATION BY MANUFACTURER (LANE ENTERPRISES INC).
 2. BACKFILL AND ROADWAY INSTALLATION BY CONTRACTOR.
 3. INSTALLATION OF CULVERT TO BE IN ACCORDANCE WITH ENGINEERED DRAWING PROVIDED BY LANE ENTERPRISES AND WILL BE PROVIDED TO THE TOWN FOR REVIEW PRIOR TO INSTALLATION.
 4. DISTURBANCE PERMITTED UNDER USACOE NATIONWIDE PERMIT #14 AND #58 UNDER TRANSMITTAL LRB-2019-00193 AND PROVIDED ON 04/04/2024.



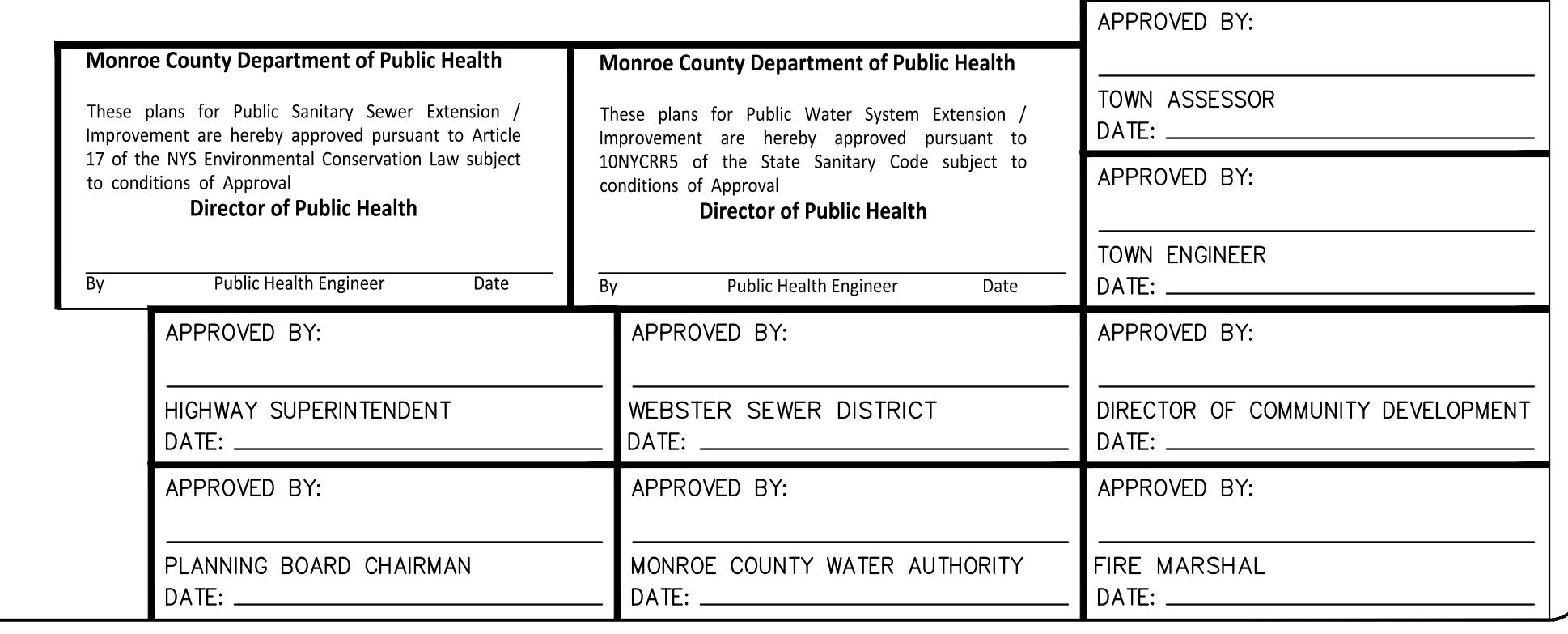
REVISIONS		
DATE	BY	REVISION

IF IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC



DRAWING TITLE:
CULVERT PLAN
AND STRUCTURE
SCHEDULE

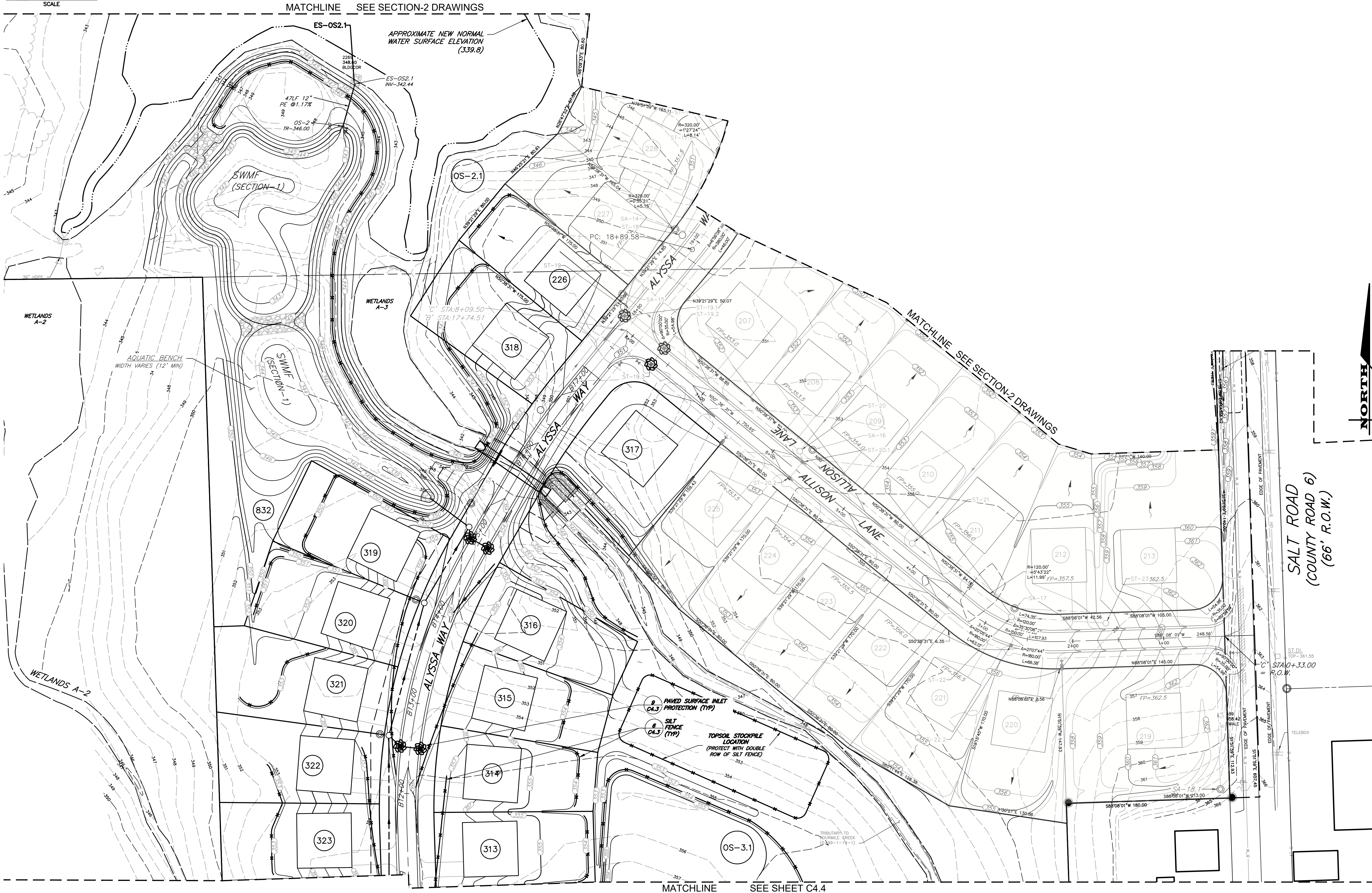
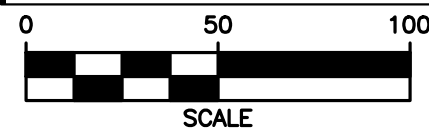
07 of 16 SHEET No:	C3.3
0761-23 JOB No:	





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APPROVED BY:	APPROVED BY:	APPROVED BY:
TOWN ASSESSOR	HIGHWAY SUPERINTENDENT	DIRECTOR OF COMMUNITY DEVELOPMENT
DATE:	DATE:	DATE:
APPROVED BY:	APPROVED BY:	APPROVED BY:
TOWN ENGINEER	PLANNING BOARD CHAIRMAN	FIRE MARSHAL
DATE:	DATE:	DATE:



MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

FINAL SECTION 3 PLANS
for
**WESTWOOD ESTATES
SUBDIVISION**

STATE OF NEW YORK
MONROE COUNTY
TOWN OF WEBSTER
451 SALT ROAD

JOB NO: 0761-23
SCALE: 1" = 50'
DRAWN: PBG
DESIGNED: RPB
DATE: 04/16/2024

REVISIONS
DATE BY REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 132 FOR ANY PERSON, UNDER ANY CIRCUMSTANCES, TO REPRESENT HIMSELF AS A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ANY OTHER PERSON WITHOUT AN ATTENDING THE SIGN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, OR ANY OTHER PERSON, THE SIGN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A SIGNIFICANT FACTOR IN THE DETERMINATION OF THE CREDIBILITY OF THE SIGNATURE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC VIOLATION OF THE EDUCATION LAW.

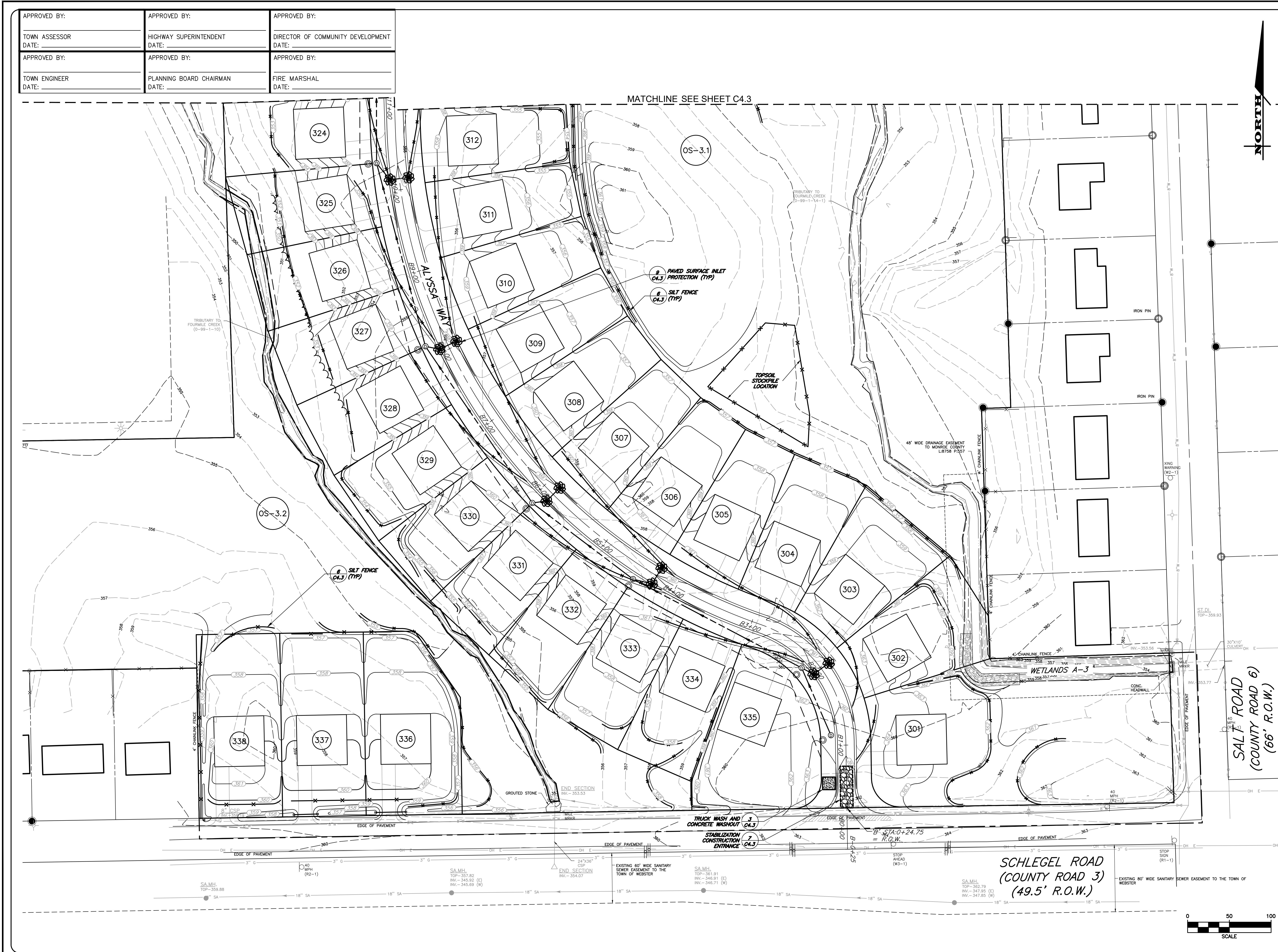
COPYRIGHT © 2024 MARATHON ENG.

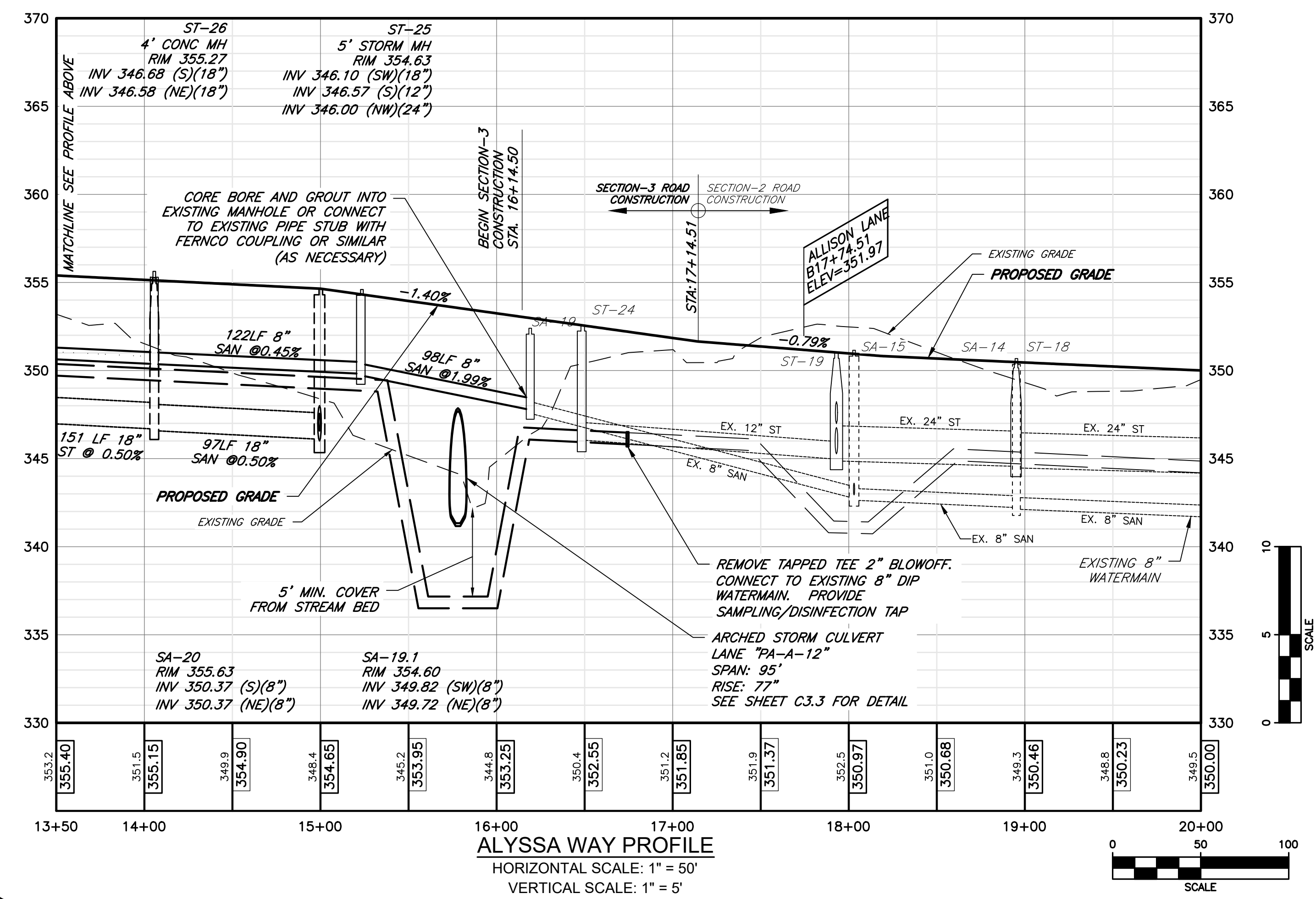
ROBERT P. BRINGLEY

DRAWING TITLE:
**EROSION
CONTROL PLAN**

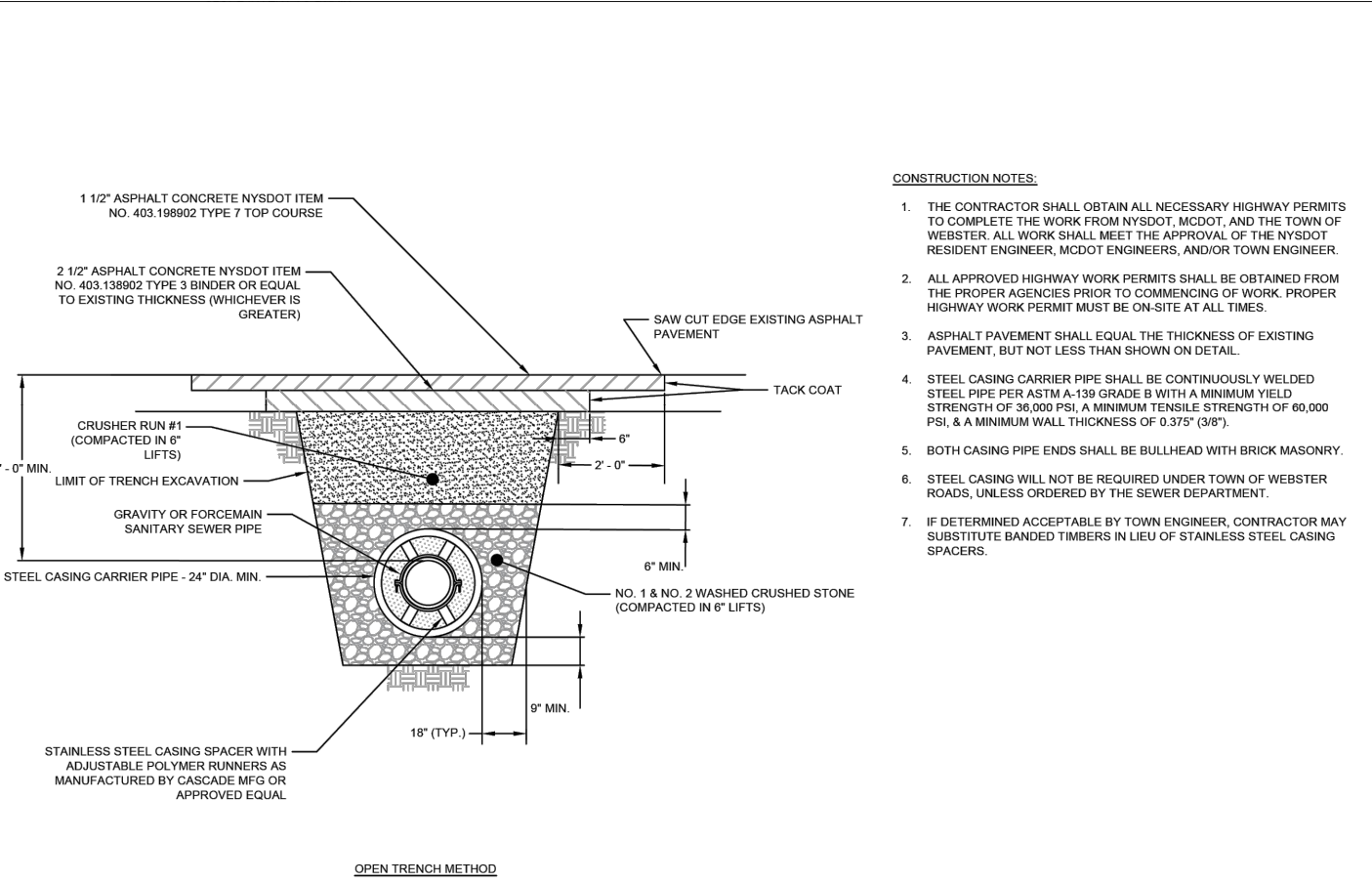
10 of 16
SHEET No:
0761-23
JOB No:

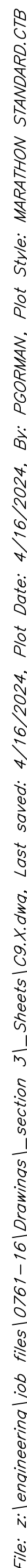
C4.3
DRAWING No:

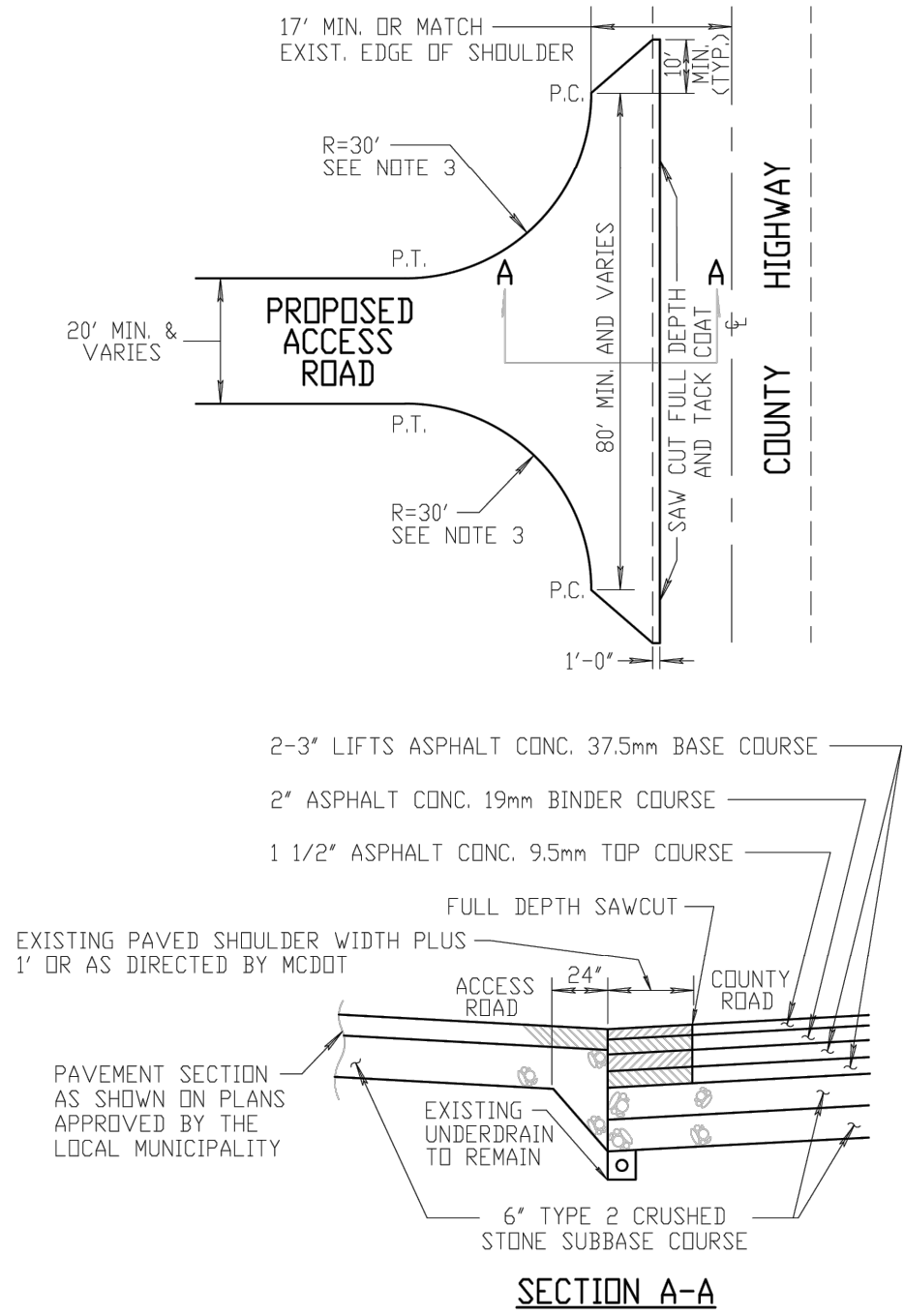




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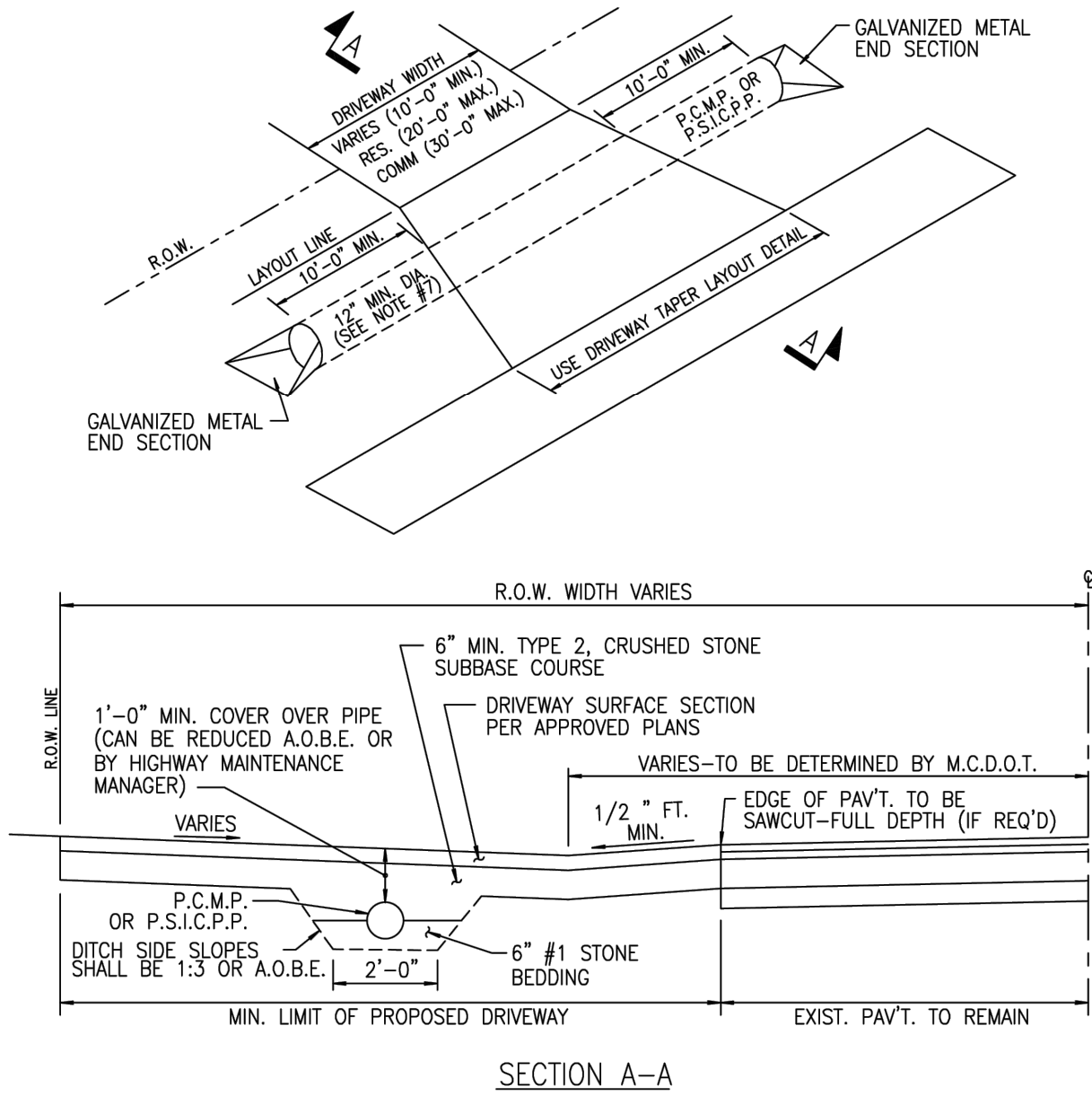


NOTES:

1. ALL ACCESS ROADS SHALL MEET THE COUNTY HIGHWAY AT A RIGHT ANGLE (<90°), UNLESS OTHERWISE AUTHORIZED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS OR DESIGNEE.
2. RIGHT-OF-WAY WIDTH VARIES.
3. RADIUS MAY VARY DEPENDING ON PROPOSED VEHICLE USAGE FOR ACCESS ROAD.

ACCESS ROAD CONNECTION WITHOUT CURB OR GUTTER TO A COUNTY HIGHWAY WITH SHOULDER

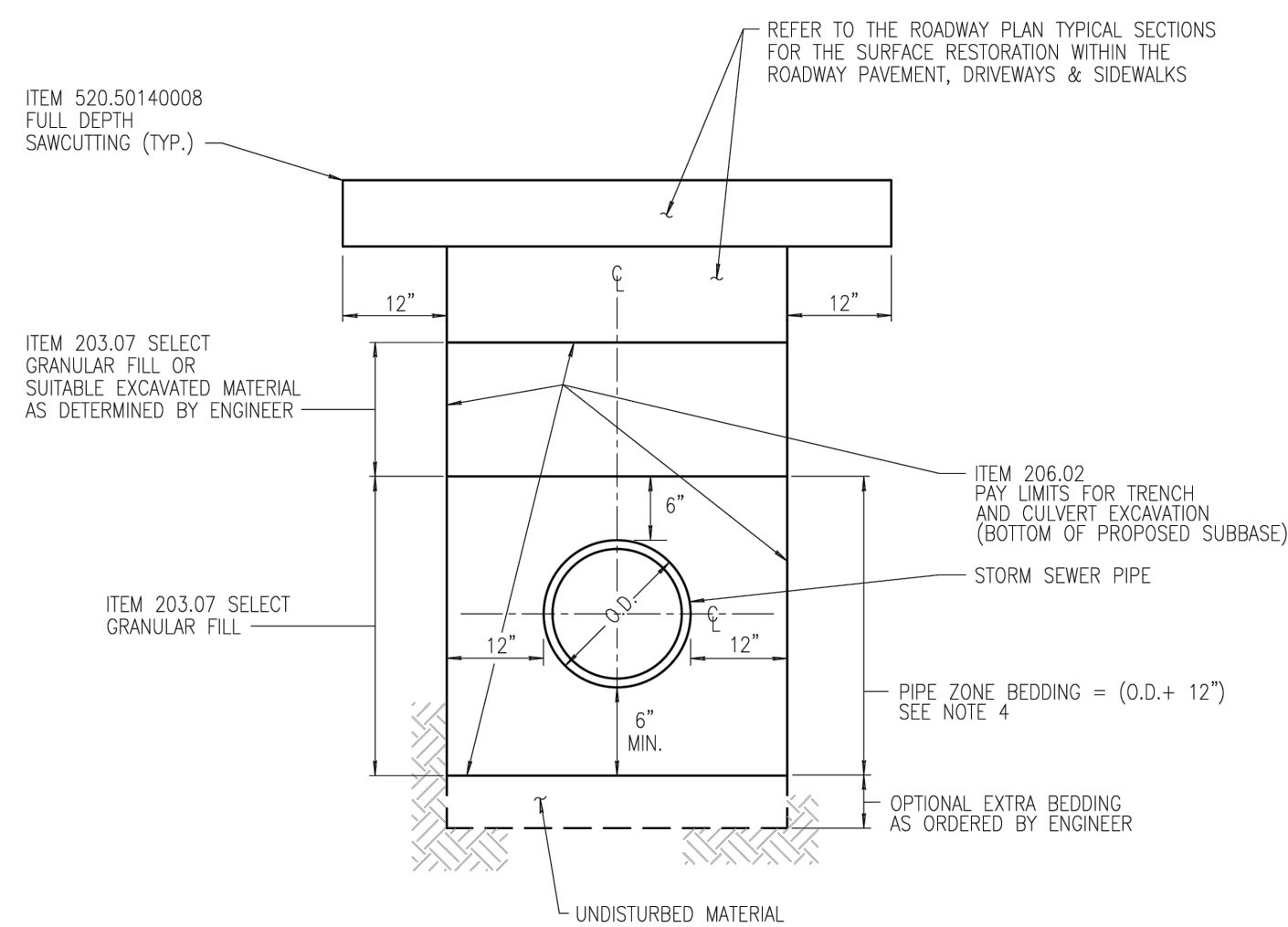
9/17/14
REVISED



NOTES:

1. CULVERT PIPE MUST BE EITHER PERFORATED CORRUGATED METAL PIPE (PCMP), (16 GAUGE) OR SMOOTH INTERIOR CORRUGATED PERFORATED POLYETHYLENE PIPE (SICPP). PIPE SIZE TO BE _____.
2. THE EXISTING DRAINAGE DITCH MUST BE CLEANED AND GRADED TO DRAIN ACROSS THE ENTIRE HIGHWAY FRONTAGE.
3. TOPSOIL AND SEED ALL DISTURBED AREAS.
4. THE PLACEMENT OF THE CULVERT IS DETERMINED BY THE LINE, GRADE AND OFFSET OF THE EXISTING DITCH AND ADJACENT DRIVEWAY CULVERTS.
5. IT IS DESIRABLE THAT DRIVEWAYS TO COUNTY ROADS BE PAVED TO THE RIGHT-OF-WAY LINE. THE DRIVEWAY SHALL SLOPE AWAY FROM THE OUTSIDE EDGE OF THE SHOULDER AT A MINIMUM OF 1/2 INCH PER FOOT TO THE CENTERLINE OF DRAINAGE.
6. REFER TO CONCRETE APRON OR DRIVEWAY SECTION DETAIL FOR CONCRETE DRIVEWAYS.
7. SMALLER SIZE PIPES MAY BE PERMITTED BY MCDOT, DEPENDING ON CONDITIONS.

DRIVEWAY WITH CULVERT

01/09/2018
REVISED

NOTES:

REMOVE EXISTING PAVEMENT AND SUBBASE UNDER ITEM 203.02, WHERE SEWER IS INSTALLED PRIOR TO BOX OUT, THE UPPER PAY LAYER UNDER ITEM 206.02 SHALL BE REMOVED AROUND BACKFILL WITH ITEM 203.07 TO THE BOTTOM OF THE TEMPORARY PAVEMENT, OR TO THE BOTTOM OF SUBBASE.

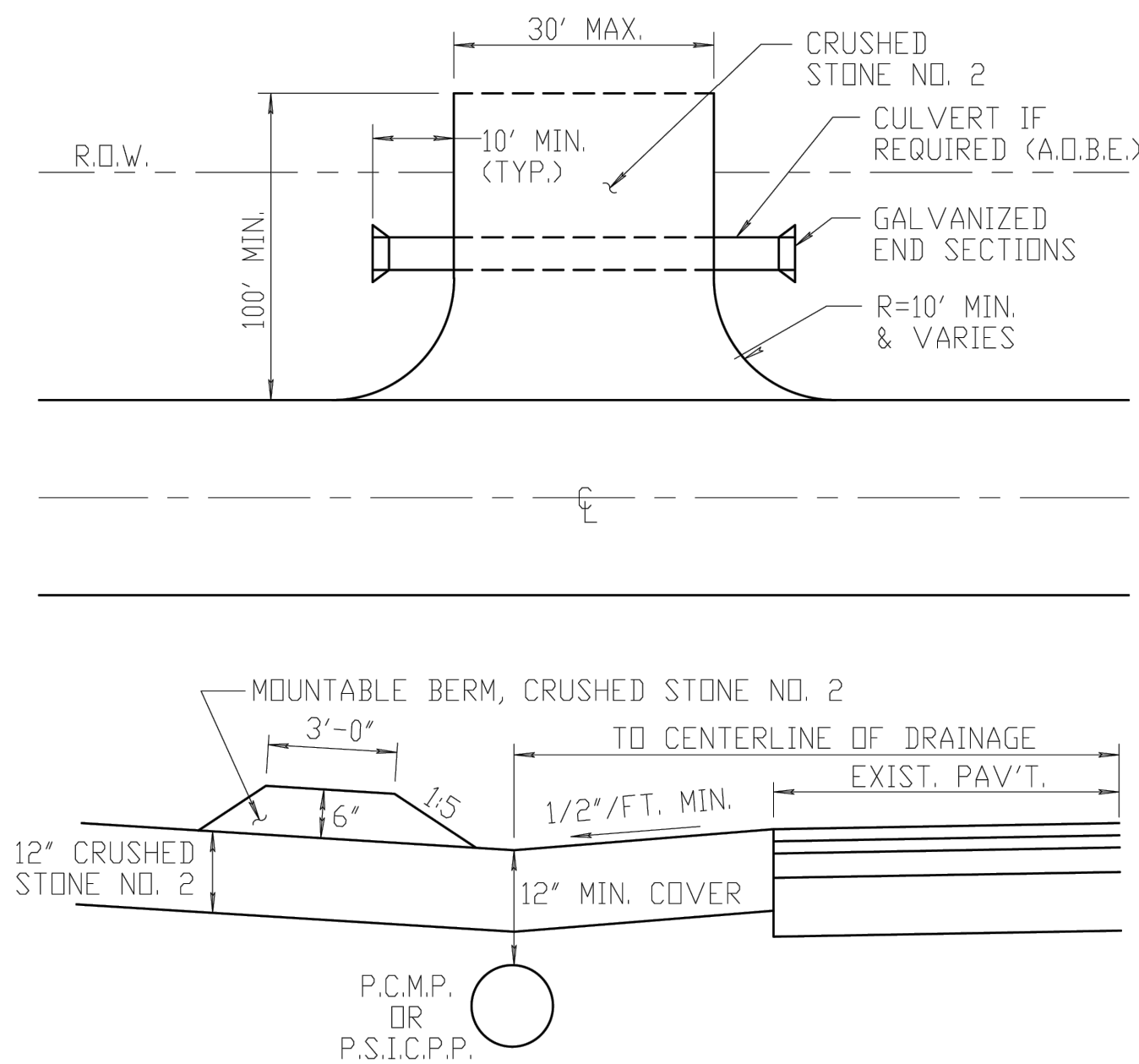
SLOPE SHEETING & BRACING PER OSHA SPECIFICATION. TRENCH SHIELD OR SHEETING TO BE LIFTED ABOVE THE SPRING LINE.

WHERE STORM SEWER CROSSES PREVIOUSLY INSTALLED SANITARY SEWER, WATER OR GAS MAIN, ETC. TRENCH SHALL BE EXCAVATED DOWN TO THE PREVIOUSLY Laid UTILITY AND BACKFILL WITH #2 CRUSHED STONE COMPACTED IN 6" LIFTS TO INSURE ADEQUATE SUPPORT.

6" STONE BEDDING, CONSISTING OF A BLENDING OF #1 AND #2 STONE, IS REQUIRED FOR SANITARY AND STORM SEWER INSTALLATIONS WITH CRUSHED STONE HAUNCHING TO A MINIMUM OF ONE-HALF THE PIPE DETERMINED ON THE INSIDE OF THE PIPE. PAYMENT TO BE INCLUDED UNDER ITEM 203.07 CRUSHED GRANULAR FILL.

STORM SEWER TRENCH IN PAVED AREA
NOT TO SCALE

6/13/13
REVISED



NOTES:

1. PERFORATED CULVERT PIPE MUST BE EITHER CORRUGATED METAL PIPE (16 GAUGE) OR SMOOTH INTERIOR CORRUGATED PERFORATED POLYETHYLENE PIPE SIZE TO BE _____.
2. THE EXISTING DRAINAGE DITCH MUST BE CLEANED AND GRADED TO DRAIN ACROSS THE ENTIRE HIGHWAY FRONTAGE.
3. THE PLACEMENT OF THE CULVERT IS DETERMINED BY THE LINE, GRADE AND OFFSET OF THE EXISTING DITCH AND ADJACENT DRIVEWAY CULVERTS.
4. THE HIGHWAY MUST BE KEPT CLEAN OF MUD, DIRT AND OTHER DEBRIS AT ALL TIMES.
5. ALL TOPSOIL AND/OR MUD MUST BE REMOVED FROM THE ACCESS PRIOR TO PLACEMENT OF THE CRUSHED STONE FOR ACCESS.
6. WHENEVER CRUSHED STONE SURFACE BECOMES PLUGGED WITH SEDIMENT, A MINIMUM OF 4" DEPTH OF STONE SHALL BE REMOVED AND REPLACED w/ NEW CRUSHED STONE.

TEMPORARY CONSTRUCTION ACCESS

5/14/14
REVISED