

# FINAL SECTION 3 PLANS for WESTWOOD ESTATES SUBDIVISION

451 SALT ROAD

SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK

**MOTION FOR A TYPE I ACTION - NEGATIVE DECLARATION**

Whereas the Town of Webster Planning Board (Planning Board) considered the request by Applicant, Combat Construction LLC, to construct Cluster Development housing consisting of 106 single family lots on 8.0 acres of land of which 33.4 acres is proposed as open space. The project entails parcels having SBL # 050-04-1-72-11 and 050-04-1-71 and is located in an R-3 District (Single Family).

Whereas at its March 20, 2018 meeting, the Planning Board determined that the action is a Type I action, that the action is subject to a single agency review, that it was the most appropriate agency for making a determination of significance, and declared itself lead agency. The planning Board received no objections to its declaration of lead agency.

Whereas the Planning Board has given consideration to the criteria for determining significance as set forth in Section 617.7(c) (1) of SEQR, and has

1. considered the information contained in the Full Environmental Assessment Form Part 1 dated February 1, 2018,

2. considered public comments directed to the Planning Board during sketch plan review on

a. September 19, 2017, and

b. October 17, 2017,

3. considered public comments directed to the Planning Board during the Public Hearings on

a. March 19, 2018,

b. November 6, 2018,

4. considered public comments, presentations, and letters addressed to the Planning Board in regards to the Action,

5. considered responses to said comments by applicants engineer,

6. considered information provided in the document entitled, *Supplement to the Engineers Report and Environmental Assessment Form for the Webster West Subdivision* (Marathon Engineering, 10/16/18), and

7. Completed Parts 2 and 3 of the Environmental Assessment Form.

NOW, THEREFORE, BE IT RESOLVED that the TOWN OF WEBSTER PLANNING BOARD hereby determines that the proposed project will not have a significant adverse effect on the environment for the reasons set forth in the attached Full Environmental Assessment Form, Part 3 - Evaluation of the Magnitude and Importance of Project Impacts and Determination of Significance; be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD is authorized to take all actions reasonable and necessary to file the Negative Declaration and discharge the TOWN OF WEBSTER PLANNING BOARD's responsibility as lead agency for this action, be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD, based on the information and analysis above, the referenced supporting documentation, and discussions of the action by the TOWN OF WEBSTER PLANNING BOARD as documented by the Minutes for this and other meetings, that the proposed action WILL NOT result in any significant environmental impacts, be it further,

RESOLVED that the TOWN OF WEBSTER PLANNING BOARD, therefore makes a DETERMINATION OF NON-SIGNIFICANCE, be it further,

RESOLVED, that the TOWN OF WEBSTER PLANNING BOARD, based on the above reasons issues a NEGATIVE DECLARATION as evidence of its determination.

**RESOLUTION 18-117**

Mr. Anderson made a motion to **Negative Declaration** seconded by Mr. Rampe as follows:

**VOTE:**

Mr. Anderson AYE  
Mr. Arena AYE  
Mr. Kosel AYE  
Mr. Malta AYE  
Mr. Mexell AYE  
Mr. Casciani AYE  
Mr. Rampe AYE

**RESOLUTION 18-118**

Mr. Casciani made a motion to **APPROVAL TO WEBSTER WEST SUBDIVISION** - Located at 415 Salt Road (Webster West Golf Course).

PRELIMINARY SITE PLAN with conditions seconded by Mr. Malta as follows:

**Conditions:**

1. Subject to PRC Comments
2. Subject to Conservation Board comments
3. Subject to Monroe County Water Authority comments
4. Address any land to be conveyed to the Town or adjoining property owners (the four parcels that they are selling)
5. All site work shall be in accordance to the specifications of the Town of Webster.
6. All lead paint conditions to be in accordance with the regulations and regulations set forth by the Town of Webster.
7. All site work is to be in compliance with the standards of the Town of Webster.
8. Preserve all mature trees on site, where possible, and mark said trees by the developer's engineer prior to the commencing of any site work.
9. Comply with all requirements of any Federal, State, County or Town agency.
10. Drainage and swales should be installed before building permits

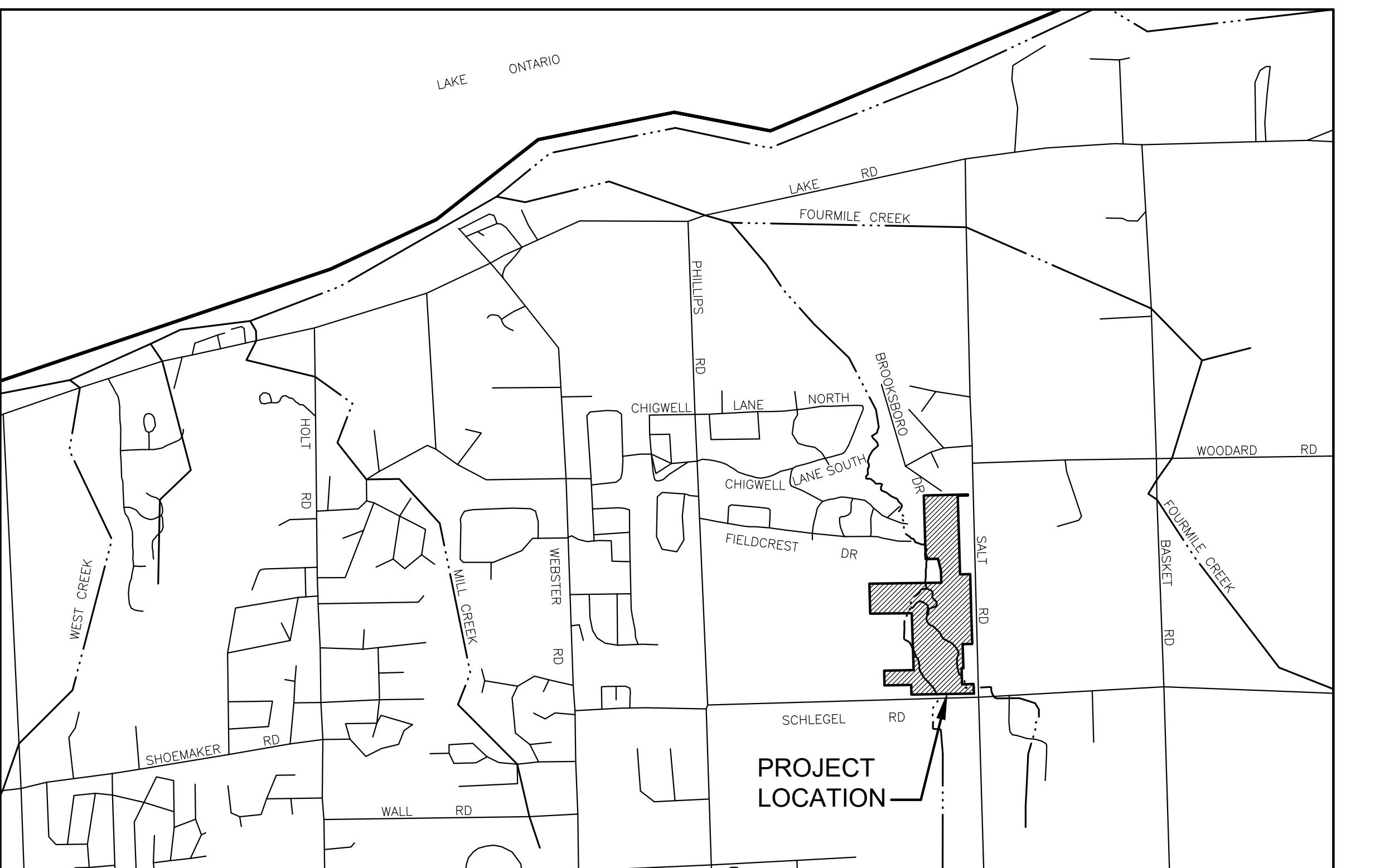
**VOTE:**

Mr. Anderson AYE  
Mr. Arena AYE  
Mr. Kosel AYE  
Mr. Malta AYE  
Mr. Mexell AYE  
Mr. Casciani AYE  
Mr. Rampe AYE

**RESOLUTION 20-PB-0204**

**CONDITIONS:**

1. SUBJECT TO PRC COMMENTS
2. SUBJECT TO PARKS AND RECREATION FEES (IF APPLICABLE)
3. SUBJECT TO PRELIMINARY APPROVAL CONDITIONS
4. SUBJECT TO DEPARTMENT OF PUBLIC WORKS APPROVAL
5. SUBJECT TO APPROVAL BY THE TOWN OF WEBSTER WITHIN ONE YEAR, AS DEEMED BY THE PLANNING BOARD, TO EXPIRE ON 7/6/22.
6. THE CONDITIONS OF PRELIMINARY AND FINAL APPROVAL ARE DEPICTED ON THE COVER PAGE OF THE FINAL DESIGNED PLANS.
7. THE ENGINEER FOR THE PROPOSED PROJECT SHALL PROVIDE A LETTER OF CERTIFICATION THAT ALL PROPOSED WORK WAS COMPLETED, AS PER PLANNING BOARD RESOLUTION OF FINAL APPROVAL, BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
8. ALL STORMWATER FACILITIES ARE TO BE CONSTRUCTED FIRST.
9. ALL STORMWATER FACILITIES ARE TO BE CONNECTED TO THE STORM SEWER SYSTEM.
10. ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM SEWER SYSTEM.
11. SUBJECT TO RESOLUTION OF THE FINAL APPROVED MINUTES.
12. APPROVALS ARE SUBJECT TO DRAWING No. C1.0



39 CASCADE DRIVE  
ROCHESTER, NY 14614  
5 8 5 - 4 5 8 - 7 7 7 0  
ITHACA LOCATION  
840 HANSHAW RD, STE 6  
ITHACA, NY 14850  
6 0 7 - 2 4 1 - 2 9 1 7  
[www.marathoneng.com](http://www.marathoneng.com)

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# NOTES, INFORMATION AND SPECIFICATIONS

## GENERAL

**1. APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS INSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.

**2. MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.

**3. STAKEOUT** - THE CONTRACTOR SHALL NOTIFY SAFELY NEW YORK (1-800-962-792) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE CONTRACTOR.

**4. PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.

**5. ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.

**6. SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMITY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.

**7. EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.

**8. MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.

**9. CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.

**10. PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.

## CONSTRUCTION

**1. STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.

**2. BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM "BOUNDARY SURVEY MAP PREPARED FOR WEBSTER GOLF COURSE WEST" PREPARED BY MAGDE LAND SURVEYING, P.C. DATED 12/7/2013 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.

**3. DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.

**4. COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.

**5. STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.

**6. CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNERS ON-SITE REPRESENTATIVE.

- REMOVAL OF ANY CONSTRUCTION DEBRIS.
- CLEANING PAVEMENT AND WALKWAY SURFACES.
- RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
- PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
- PROVIDING RELEASING FOR RECORD DRAWING.
- COMPLETION OF FINAL PUNCH LIST ITEMS.

## UTILITIES

### 1. SANITARY

**1.1 MATERIALS**

- MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET: ASTM D-3034 (4" THRU 15")
- LATERALS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21 OR SCH. 40 4 INCHES IN DIAMETER. PIPING AND FITTINGS SHALL MEET: ASTM D-2234
- JOINTING MATERIALS - SHALL BE BEL-L-AND-SPOUT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
- MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.

**1.2 INFILTRATION/ EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM D-2234. THE CONTRACTOR SHALL NOT EXPOSE THE SANITARY SEWER TO THE ATMOSPHERE. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).

**1.3 FLOOR DRAINS** - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. **NOTE:** FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FLOOR DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

**1.4 TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

**1.5 SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, APPROPRIATE STRAIN SUPPORT COMPACTED GEL FILLS SHALL BE PROVIDED FOR THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

### UTILITIES (CONT.)

#### 2. STORM

**2.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY.

**2.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDED THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:

- UNPREDICATED CONCRETE PIPE (CSP), 10 GAUGE, ASPHALT COATED-SMOOTH BORE
- HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-29, TYPE S, ASTM D-350.
- LATERALS SHALL BE SDR-21, 6 INCHES IN DIAMETER.

**2.3 ROOF DRAINAGE** - UNLESS OTHERWISE NOTED ON THE PLANS, ALL ROOF DRAINAGE SHALL BE DIRECTED TO SPLASH BLOCKS OR DAYLIGHTED TO THE REAR OF THE LOT. SUMP PUMPS SHALL BE CONNECTED TO THE STORM LATERALS.

**2.4 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

**3. PUBLIC WATER EXTENSION**  
(MCWA and MCPHD)

**3.1 SPECIFICATIONS** - WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.

**3.2 MATERIAL:**

- WATER MAIN(S) SHALL BE 8-INCH DUCTILE IRON ZINC COATED CLASS 52.
- WATER SERVICE(S) SHALL BE 1-INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1-INCH (TYPE K) SOFT COPPER OR PE #3408 FROM THE CURB BOX TO THE METER.
- WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
- ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.

#### 3.3 TESTS:

**5. SITE DEMOLITION** - THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR SOIL DEMOLITION/ENCASEMENT PER ANSI/AWWA C105/A21.5-82 PRIOR TO WATER MAIN INSTALLATION. SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.

**6. PRESSURE** - THE WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATION. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.

**7. HEALTH SAMPLE** - THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-851, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTION THE WATER MAIN WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

#### 3.4 INSTALLATION:

- WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTIONS OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES, OR VAULTS.
- FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
- ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS.

#### 3.5 DISINFECTION

- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

#### 3.6 SAMPLING

- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS
- THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT, OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7208 OF THE EDUCATION LAW (NY) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS TESTED AND APPROVED BY THE CONTRACTOR WERE CONDUCTED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

#### 3.7 PRIVATE SERVICES

LOTS 201-213, 219-225, 227-233  
(EXCEPTION LOTS 214, 215, 216, 217)  
LOT 218 TO USE EXISTING WATER SERVICE FOR BUILDING TO REMAIN  
(LOTS 225 AND 317 WILL BE CONSIDERED AN EXCEPTION LOT FOR SECTION-3 CONSTRUCTION)

### ABBREVIATIONS

| ABBR     | TERM                                  | ABBR   | TERM                          |
|----------|---------------------------------------|--------|-------------------------------|
| A.O.B.E. | AS ORDERED BY ENGINEER                | LS     | LUMP SUM                      |
| ASPH.    | ASPHALT                               | LT     | LEFT                          |
| AZ.      | AZIMUTH                               | MB     | MAIL BOX                      |
| B.       | BASIS                                 | M.O.   | MIDDLE ORDINATE               |
| B.M.     | BENCHMARK                             | MON.   | MONUMENT, OR MONTH            |
| C.       | CENTERLINE                            | M.C.S. | MONROE COUNTY GEODETIC SURVEY |
| CLF      | CHAIN LINKED FENCE                    | M.H.   | MANHOLE                       |
| C.C.     | CUT-OUT                               | NEC    | NECESSARY                     |
| C.C.C.   | CONCRETE                              | N.I.C. | NOT-IN-CONTRACT               |
| C.P.C.   | CORRUGATED POLYETHYLENE PIPE          | N.S.   | NOT-SPECIFIED                 |
| C.S.P.   | CORRUGATED, STEEL PIPE                | N.F.   | NEW, OR, FORMERLY             |
| COV.     | COVER                                 | P.A.V. | PAVEMENT                      |
| C.R.     | CURB BOX                              | P.E.   | POLYETHYLENE PIPE             |
| C.Y.     | CUBIC YARD                            | P.C.   | POLYCHLOROPHENYLIC ACID PIPE  |
| D.       | DEGREE OF CURVE                       | P.C.   | POINT OF CURVATURE            |
| DIA.     | DIAMETER                              | P.I.   | POINT OF INTERSECTION         |
| D.O.     | DO NOT                                | P.T.   | POINT OF TANGENCY             |
| D.U.P.   | DUCTILE IRON PIPE                     | P.V.   | POINT OF VERTICAL CURVATURE   |
| E.A.     | EACH                                  | P.V.T. | POINT OF VERTICAL TANGENCY    |
| E.I.C.   | ENGINEER IN CHARGE                    | PP     | POWER POLE                    |
| ELEV.    | ELEVATION                             | Q      | PROPERTY LINE                 |
| FP       | EDGE OF PAVEMENT                      | R      | RADIUS                        |
| FF       | FINISH FLOOR = FINISH FLOOR ELEVATION | RCP    | REINFORCED CONCRETE PIPE      |
| FI       | FIELD INLET                           | R.G.E. | ROCHESER GAS AND ELECTRIC     |
| F.I.     | FLAT IRON                             | R.O.W. | RIGHT-OF-WAY                  |
| FP       | FINISH PAD = GARAGE FLOOR ELEVATION   | R.H.   | RIGHT-HAND                    |
| F.T.     | FEET                                  | R.I.C. | ROCHESTER TELEPHONE COMPANY   |
| G.       | GAS MAIN                              | SA     | SANITARY SEWER                |
| GAL.     | GALLON                                | S.E.   | SEWER                         |
| GR.      | GRAVEL                                | STA.   | STATION                       |
| G.R.     | GUIDE RAIL                            | S.T.   | STORY                         |
| H.C.L.   | HORIZONTAL CONTROL LINE               | S.Y.   | SQUARE YARD                   |
| H.D.     | HORIZONTAL DISTANCE                   | T.D.   | TANGENTIAL DISTANCE           |
| INV.     | INVERT                                | T.G.   | THEORETICAL GRADE LINE        |
| IP.      | IRON PIPE, OR IRON PIN                | T.Y.P. | TypICAL                       |
| L.       | LENGTH OR LENGTH OF CURVE             | V.C.   | VERTICAL CURVE                |
| LF.      | LINEAR FEET                           | V.T.P. | VITRIFIED TILE PIPE           |
| LP.      | LIGHT POST (PRIVATE)                  | A      | CENTRAL ANGLE                 |

### EARTHWORK

**1. PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:

- SITE DEMOLITION - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
- CLEARING AND GRUBBING - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
- TOPSOIL STRIPPING - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.

**2. RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:

- ESTIMATE - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
- GRADE TOLERANCES - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') OF THE DESIGN ELEVATION (NOT INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
- COMPACTION - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
- CUTS - ONCE EXCAVATIONS ARE SHALLOWED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.

**3. TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1575:

- 95% - 99% IN ALL FILL AREAS WITHIN THE R.O.W.
- 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
- 85% IN REMAINING AREAS

THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND THE TESTS TO BE CONDUCTED. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

**4. LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.

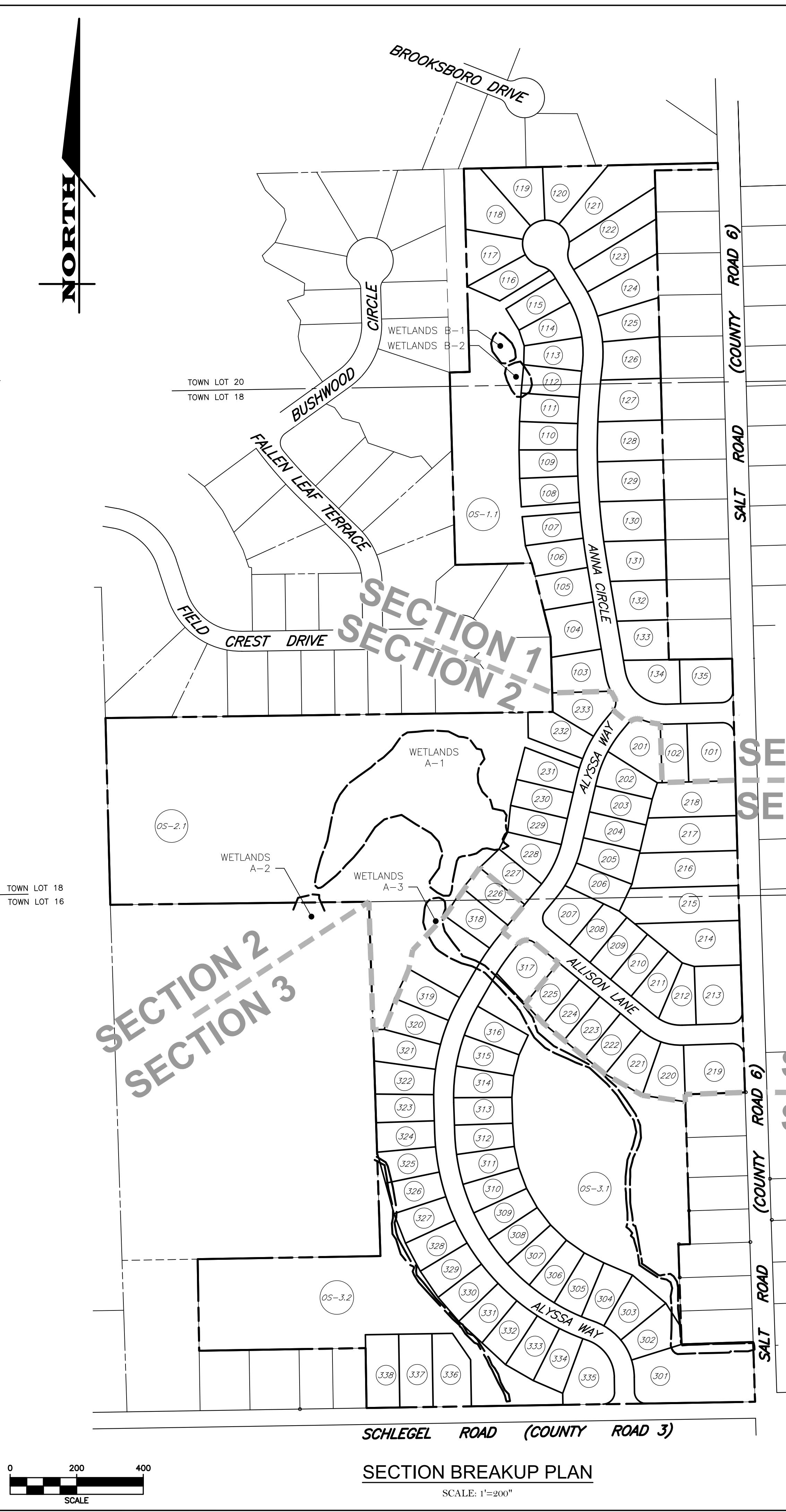
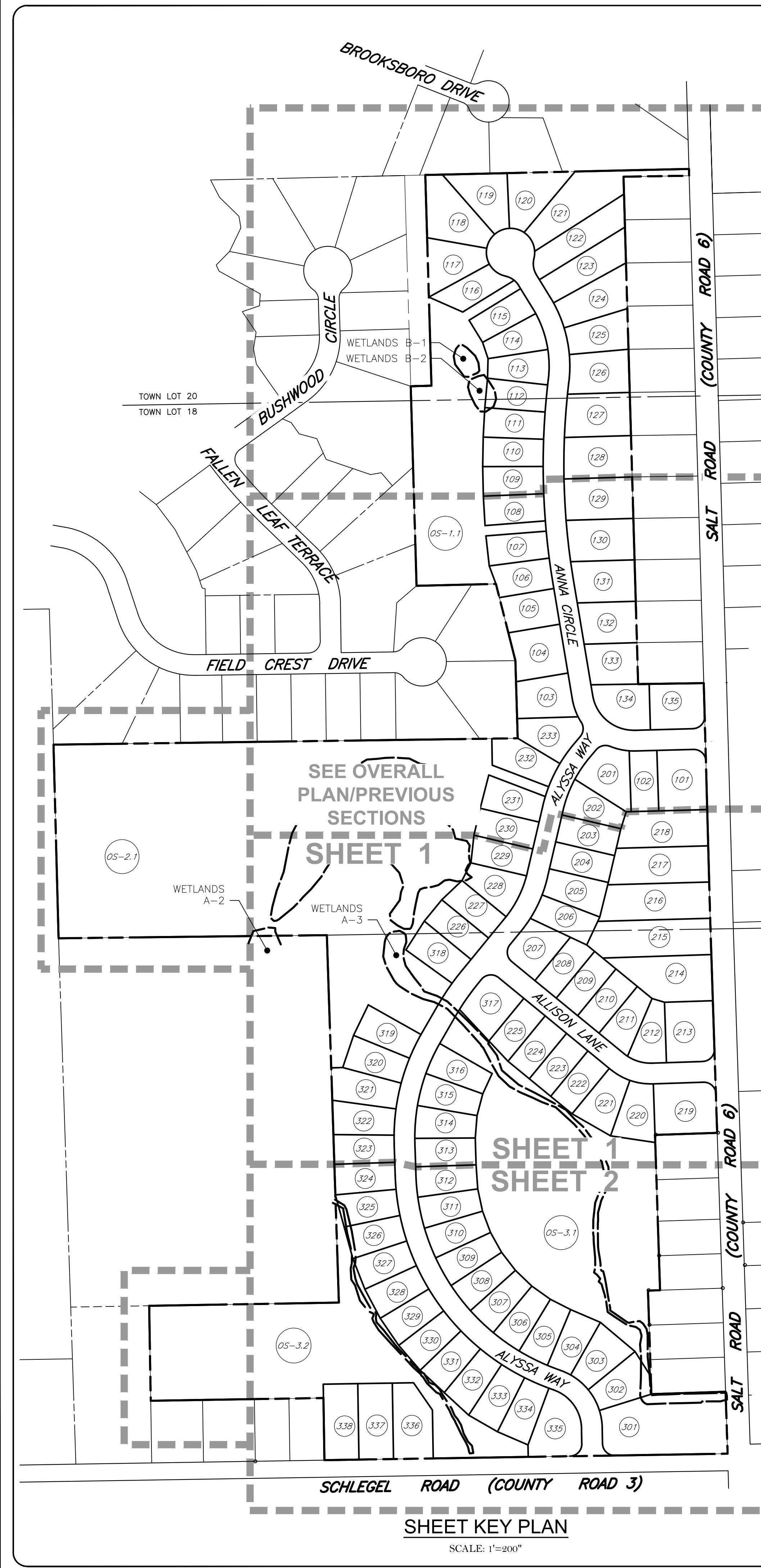
**5. PROOF ROLLING** - THE TOWN OF WEBSTER HIGHWAY DEPARTMENT SHALL BE NOTIFIED PRIOR TO A PROOF ROLL (I.E. LOADED T WHEELER) OF SUBGRADE AREAS BEING PERFORMED PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

**6. EXISTING SOIL CONDITIONS** - NO EXISTING SOIL INFORMATION HAS BEEN PROVIDED BY THE OWNER/ DEVELOPER. IT IS ASSUMED THAT SOILS ARE SUITABLE FOR CUTS AND FILLS. FOR PURPOSES OF DESIGN 12' OF TOPSOIL WAS ASSUMED TO BE PRESENT ON AVERAGE THROUGHOUT THE SITE.

**7. DEWATERING** - THE CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING PRACTICES INCLUDING DRYING OF MATERIAL TO ACCOMPLISH COMPACTION IN FILL AREAS AND DEMONSTRATING SUITABILITY OF SUBGRADE.

### EROSION CONTROL

**1. CERT**



PROJECT INFORMATION

1. GENERAL

1.1. APPLICANT REQUEST:  
THE APPLICANT IS REQUESTING THE TOWN PLANNING BOARD TO CONSIDER DEVELOPMENT OF THIS 85.2 ACRE PARCEL AS A CLUSTER DEVELOPMENT PLAN. THE APPLICANT IS REQUESTING THE TOWN PLANNING BOARD TO CONSIDER THE ALLOWANCE UNDER CURRENT ZONING: A REDUCTION IN LOT SIZE WILL ALLOW FOR "CLUSTERING" OF THE DEVELOPMENT. THIS APPROACH WILL ALLOW FOR "GREEN BUFFERS", REDUCTION IN INFRASTRUCTURE, AND COMPLIANCE WITH THE "GREEN DEVELOPMENT" INITIATIVE REQUIRED BY NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

1.2. TAX ACCOUNT:

050.04-0001-71.00  
050.04-0001-72.11  
TOTAL 85.2 ACRES

2. EXISTING ZONING AND REGULATIONS

2.1. PARCEL IS ZONED R-3 (SECTION 225-11) SINGLE FAMILY RESIDENTIAL

2.2. CODE REQUIREMENTS UNDER R-3 ZONE:

LOT SIZE 22,000 SF (MIN.)  
LOT WIDTH 100 FT (AT SET BACK LINE)  
LOT COVERAGE 20% (MAXIMUM BUILDING IMPERVIOUS AREA)

SETBACKS (FT)

FRONT 50  
SIDE 15  
REAR 50  
CORNER POINT 40  
SIDE DRIVEWAY 5

HABITABLE FLOOR AREA (SF)

ONE-STORY 1,200  
> ONE STORY 1,560

3. PROPOSED LOT BREAKDOWN

SECTION 1: 35  
SECTION 2: 31  
SECTION 3: 39  
TOTAL: 106

4. COMPARISON OF EXISTING TO PROPOSED REGULATIONS UNDER THIS TL278 APPLICATION

| ITEM  | R3 ZONING | PROPOSED CLUSTER | REDUCTION QUANTITY | PERCENT |
|---|-----------|------------------|--------------------|---------|
| LOT SIZE (SF)                                       | 22,000    | 13,177 *         | 8,823              | 40%     |
| LOT WIDTH (FT)                                      | 100       | 80 **            | 20                 | 20%     |
| FRONT SETBACK (FT)                                  | 50        | AS SHOWN         | VARIES             | VARIES  |
| SIDE SETBACK (FT)                                   | 15        | 7.5              | 10                 | 67%     |
| REAR SETBACK (FT)                                   | 50        | 40 ***           | VARIES             | VARIES  |
| FRONT CORNER SETBACK (FT)                           | 40        | 30               | 10                 | 25%     |
| FRONT SETBACK-MAJOR HIGHWAY (FT)                    | 60        | 60               | —                  | —       |
| FRONT CORNER SETBACK-MAJOR HIGHWAY (FT)             | 50        | 50               | —                  | —       |
| PROJECT DENSITY (MAX # OF LOTS)                     | 106       | 106              | —                  | —       |
| LENGTH OF TOWN DEDICATED ROAD & INFRASTRUCTURE (FT) | 7,107     | 5,111            | 1,996              | 28%     |

\*SMALLEST LOT, THE AVERAGE LOT AREA BASED ON 80' WIDTH & 175' DEPTH IS 14,000SF

\*\*80' WIDE AT THE FRONT SETBACK OR THE REAR BUILDING LINE.

\*\*\*UNLESS NOTED OTHERWISE

**FINAL SECTION 3 PLANS**  
for  
**WESTWOOD ESTATES**  
**SUBDIVISION**

451 SALT ROAD

MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 0761-23  
SCALE: 1'=200"  
DRAWN: PBG  
DESIGNED: RPB  
DATE: 04/16/2024

REVISIONS

DATE BY REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 14-A SECTION 209 FOR ANY PERSON UNLICENSED UNDER THE PROFESSIONAL ENGINEER LAW OR ANY PERSON NOT REGISTERED AS A LAND SURVEYOR TO PRACTICE AS A PROFESSIONAL ENGINEER OR LAND SURVEYOR OR TO PRACTICE LAND SURVEYING. ANY PERSON PRACTICING AS A PROFESSIONAL ENGINEER OR LAND SURVEYOR OR PRACTICING LAND SURVEYING WITHOUT THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS PRACTICING ILLEGALLY. IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 14-A SECTION 209 FOR ANY PERSON UNLICENSED UNDER THE PROFESSIONAL ENGINEER LAW OR ANY PERSON NOT REGISTERED AS A LAND SURVEYOR TO PRACTICE AS A PROFESSIONAL ENGINEER OR LAND SURVEYOR OR TO PRACTICE LAND SURVEYING. ANY PERSON PRACTICING AS A PROFESSIONAL ENGINEER OR LAND SURVEYOR WITHOUT THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS PRACTICING ILLEGALLY.

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DRAWING TITLE:  
**OVERALL PLAN**

02 of 16  
SHEET NO:  
0761-23  
JOB NO:  
DRAWING NO:

| SIGHT DISTANCE TABLE  |  |                      |                          |                 |
|---|--|----------------------|--------------------------|-----------------|
| PROPOSED INTERSECTION (COUNTY ROAD SPEED LIMIT AT INTERSECTION) | SIGHT CRITERIA   | REQUIRED             | AVAILABLE LEFT           | AVAILABLE RIGHT |
| ANNA CIRCLE (SPEED LIMIT: 40MPH)                                | INTERSECTION SIGHT DISTANCE<br>STOPPING SIGHT DISTANCE | 445 FEET<br>305 FEET | 1,500 FEET<br>1,300 FEET |                 |
| ALYSSA WAY (SPEED LIMIT: 40MPH)                                 | INTERSECTION SIGHT DISTANCE<br>STOPPING SIGHT DISTANCE | 445 FEET<br>305 FEET | 1,500 FEET<br>1,200 FEET |                 |
| ALLISON LANE (SPEED LIMIT: 40MPH)                               | INTERSECTION SIGHT DISTANCE<br>STOPPING SIGHT DISTANCE | 445 FEET<br>305 FEET | 1,500 FEET<br>430 FEET   |                 |

MONROE COUNTY DEPT. OF TRANSPORTATION  
APPROVED \_\_\_\_\_  
DATE \_\_\_\_\_  
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED  
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

**PLAT MAP**  
for  
**WESTWOOD ESTATES SUBDIVISION - SECTION 3**  
PART OF LOTS 16, 18 & 20, TOWNSHIP 14, RANGE  
4 OF THE PHEILS & GORHAM PURCHASE

STATE OF NEW YORK  
MONROE COUNTY  
TOWN OF WEBSTER

451 SALT ROAD

JOB NO: 0761-23  
SCALE: AS SHOWN  
DRAWN: RJT  
DESIGNED: RPB  
DATE: 04/16/2024

REVISIONS

DATE BY REVISION

**PLAT MAP**  
for  
**WESTWOOD ESTATES SUBDIVISION - SECTION 3**  
**PART OF LOTS 16, 18 & 20, TOWNSHIP 14, RANGE**  
**4 OF THE PHELPS & GORHAM PURCHASE**

STATE OF NEW YORK  
MONROE COUNTY  
TOWN OF WEBSTER

JOB NO: 0761-23  
SCALE: AS SHOWN  
DRAWN: RJT  
DESIGNED: RPB  
DATE: 04/16/2024

**REVISIONS**

DATE BY REVISION



**Monroe County Department of Public Health**

These plans for Public Sanitary Sewer Extension Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

**Director of Public Health**

---

By \_\_\_\_\_ Public Health Engineer \_\_\_\_\_ Date \_\_\_\_\_

These plans for Public Water System Extension Improvement are hereby approved pursuant to 10NYCRR5 of the State Sanitary Code subject to conditions of Approval

**Director of Public Health**

---

By Public Health Engineer Date

APPROVED BY: \_\_\_\_\_

TOWN ASSESSOR  
DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

TOWN ENGINEER  
DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

HIGHWAY SUPERINTENDENT  
DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

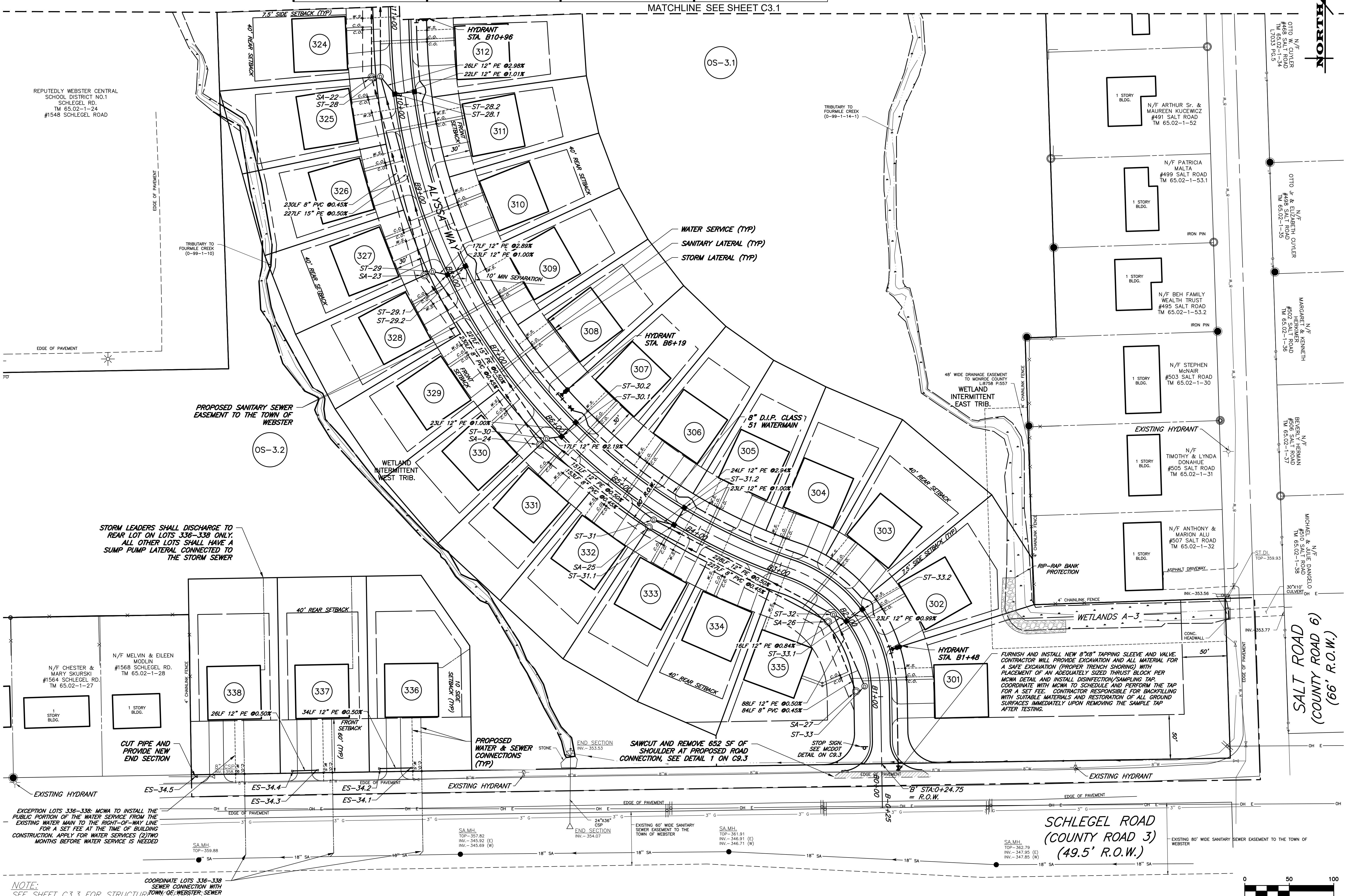
PLANNING BOARD CHAIRMAN \_\_\_\_\_

PROVED BY: \_\_\_\_\_  
DIRECTOR OF COMMUNITY DEVELOPMENT  
DATE: \_\_\_\_\_

PROVED BY: \_\_\_\_\_  
SHERIFF MARSHAL \_\_\_\_\_

|                           |       |
|---------------------------|-------|
| MOVED BY:                 | <hr/> |
| TER SEWER DISTRICT        | <hr/> |
| MOVED BY:                 | <hr/> |
| DE COUNTY WATER AUTHORITY | <hr/> |

MATCHLINE SEE SHEET C3.



**FINAL SECTION 3 PLANS  
for  
WESTWOOD ESTATES  
SUBDIVISION**

STATE OF NEW YORK  
TOWN OF WEBSTER  
MONROE COUNTY  
451 SALT ROAD

451 SALT ROAD  
MONROE COUNTY  
MASTER

451 SALT ROAD  
MONROE COUNTY  
WESTER

TOWN OF WEBSTER

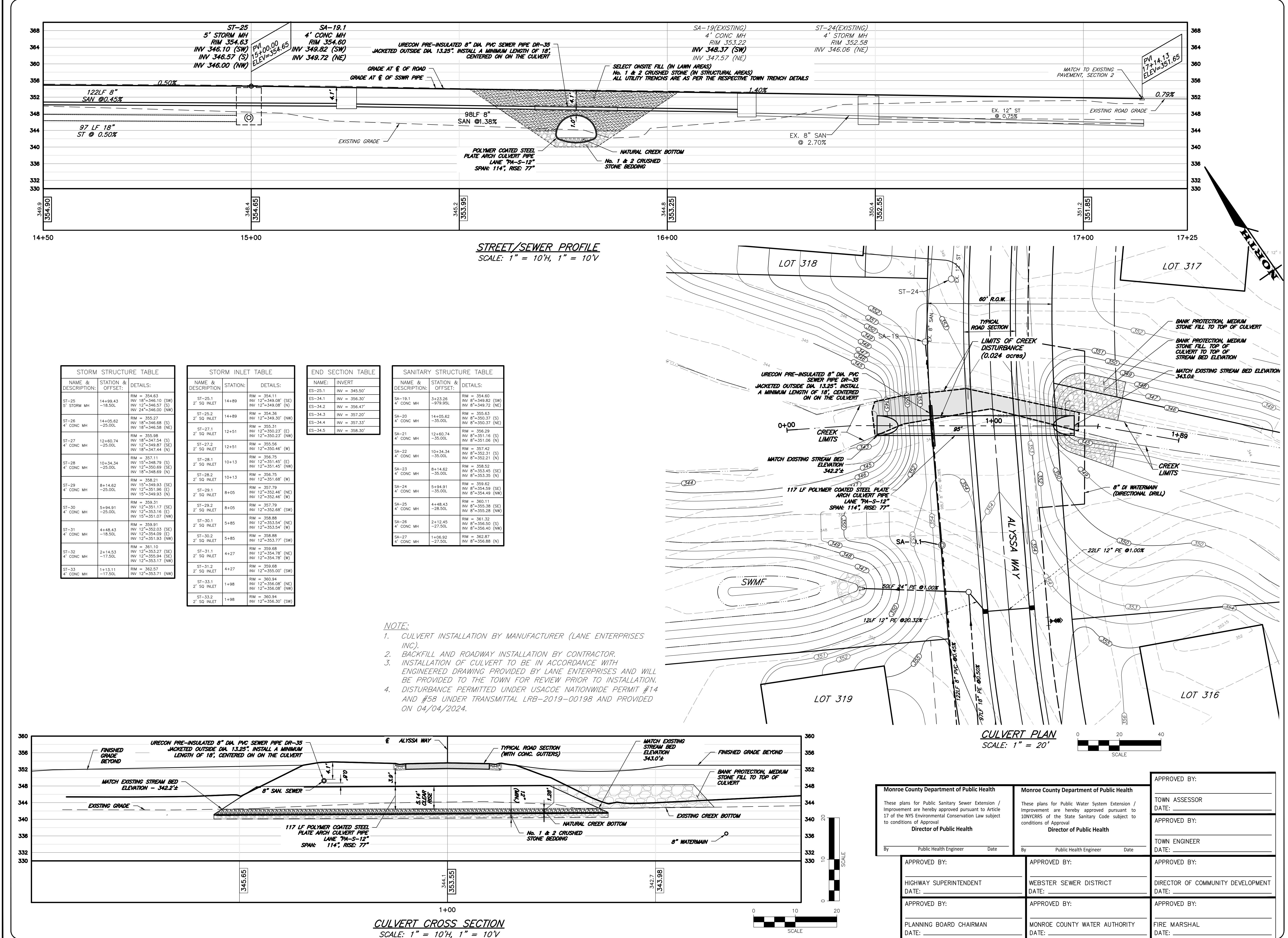
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ATE: 04/16/2024

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**DRAWING TITLE:**  
**UTILITY PLAN**

|           |             |
|-----------|-------------|
| 06 of 16  |             |
| SHEET No: | C3.2        |
| 0761-23   |             |
| JOB No:   | DRAWING No: |



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## FINAL SECTION 3 PLANS for WESTWOOD ESTATES SUBDIVISION

451 SALT ROAD

MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 0761-23  
SCALE: 1" = 50'  
DRAWN: PBG  
DESIGNED: RPB  
DATE: 04/16/2024

REVISIONS

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LEARNED PROFESSIONAL SURVEYOR  
#066924

DRAWING TITLE:  
CULVERT PLAN  
AND STRUCTURE  
SCHEDULE

07 of 16  
SHEET NO:  
0761-23  
JOB NO:  
DRAWING No:  
C3.3



|  |  |  |
|--|--|--|
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| APPROVED BY:<br>TOWN ENGINEER<br>DATE: | APPROVED BY:<br>PLANNING BOARD CHAIRMAN<br>DATE: | APPROVED BY:<br>FIRE MARSHAL<br>DATE:                      |



**FINAL SECTION 3 PLANS  
for  
WESTWOOD ESTATES  
SUBDIVISION**

451 SALT ROAD  
MONROE COUNTY  
TOWN OF WEBSTER

STATE OF NEW YORK

451 SALT ROAD

MONROE COUNTY

TOWN OF WEBSTER

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SCALE: 1"=50'  
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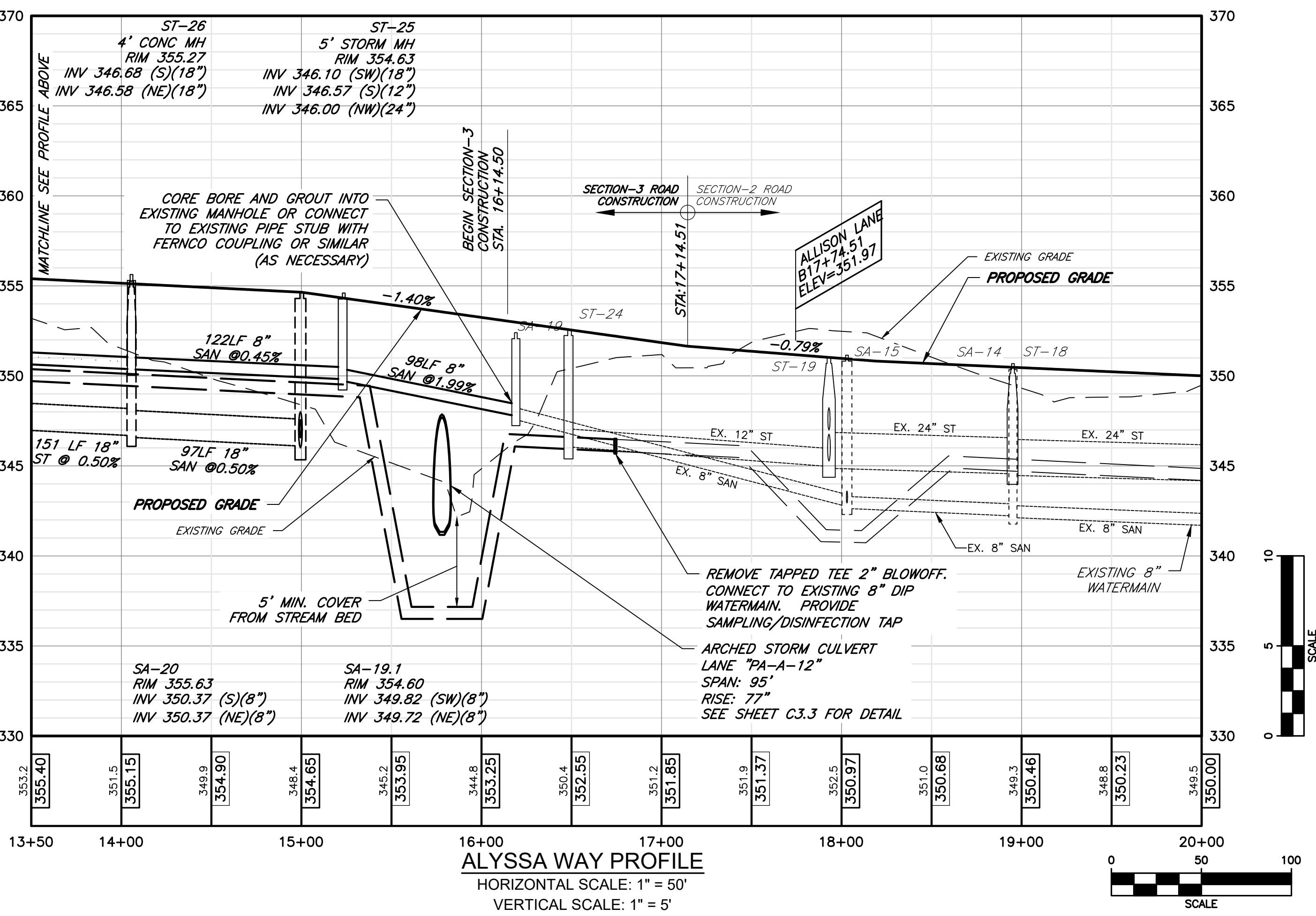
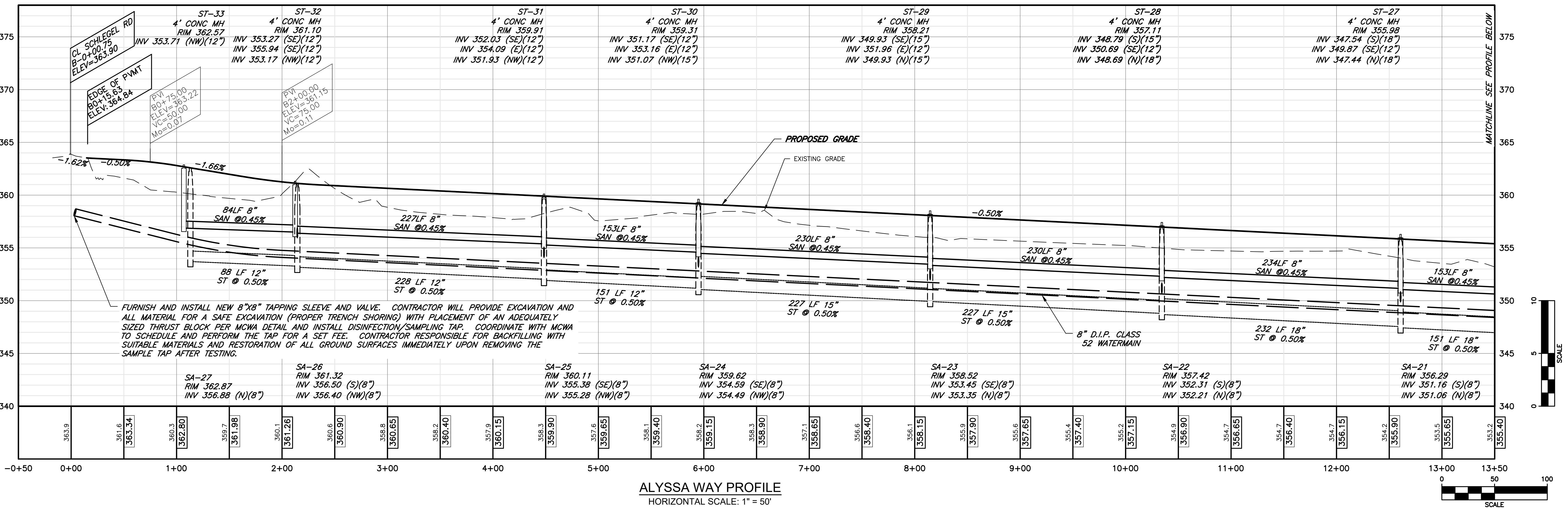
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|   |  |  |   |   |  |
|---|--|--|---|---|--|
| Monroe County Department of Public Health   | Monroe County Department of Public Health  | APPROVED BY:<br>TOWN ASSESSOR<br>DATE: | APPROVED BY:<br>HIGHWAY SUPERINTENDENT<br>DATE: | APPROVED BY:<br>WEBSTER SEWER DISTRICT<br>DATE: | APPROVED BY:<br>DIRECTOR OF COMMUNITY DEVELOPMENT<br>DATE: |
| These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval<br>Director of Public Health | These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval<br>Director of Public Health |  |   |   |  |
| By Public Health Engineer Date  | By Public Health Engineer Date   |  |   |   |  |



**FINAL SECTION 3 PLANS for WESTWOOD ESTATES SUBDIVISION**

|                  |    |
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| DESIGNED: RPB    |    |
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LEARNED PROFESSIONAL ENGINEER  
066924

|                             |  |
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| DRAWING TITLE: ROAD PROFILE |  |
| 12 of 16 SHEET NO: C6.1     |  |
| 0761-23 DRAWING NO:         |  |

STATE OF NEW YORK

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TOWN OF WEBSTER

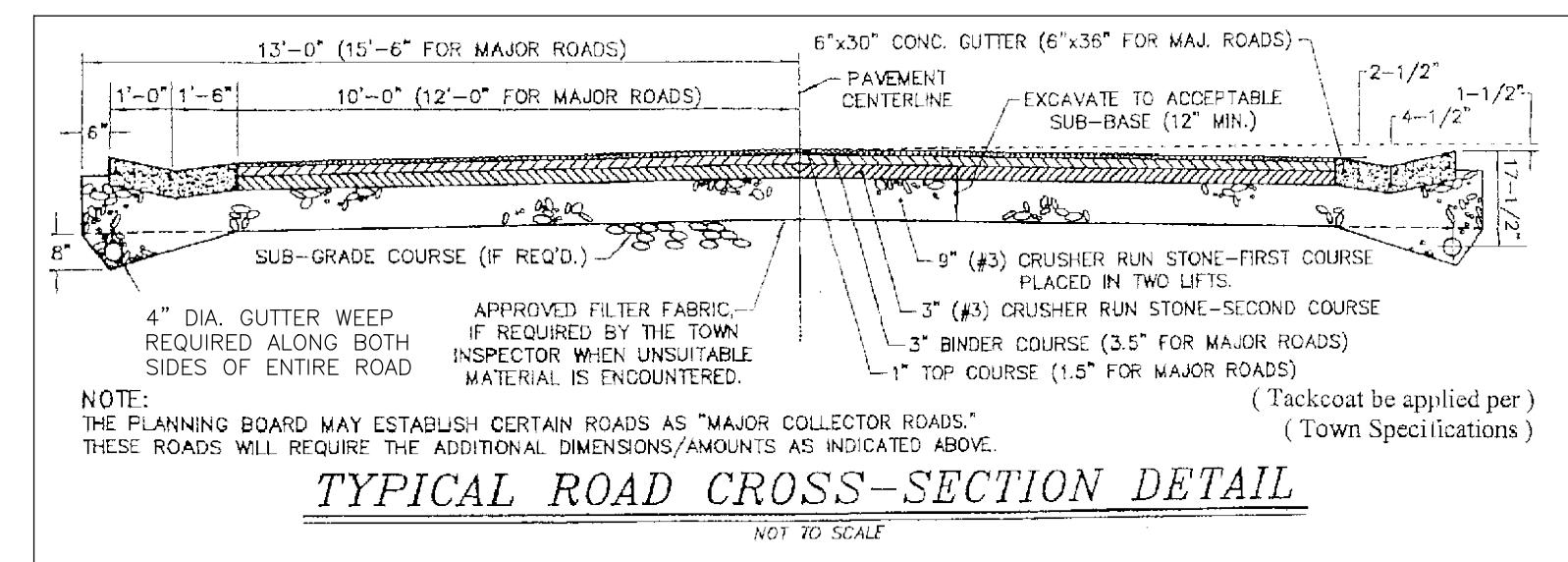
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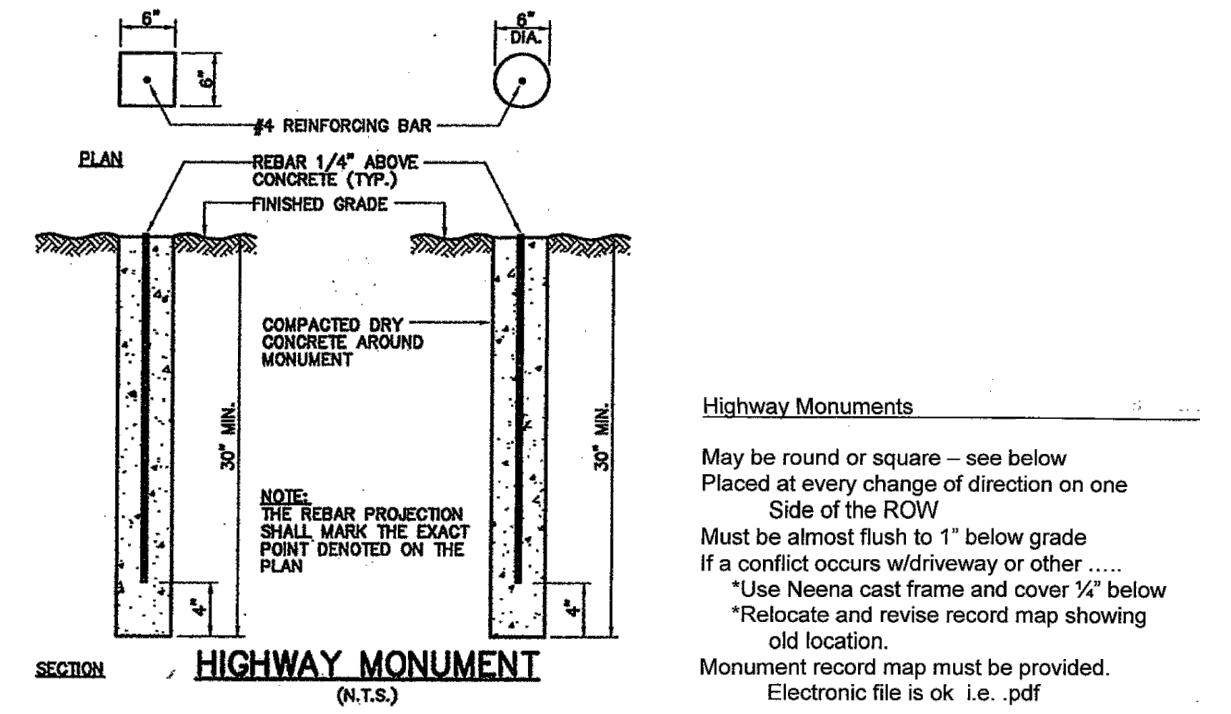
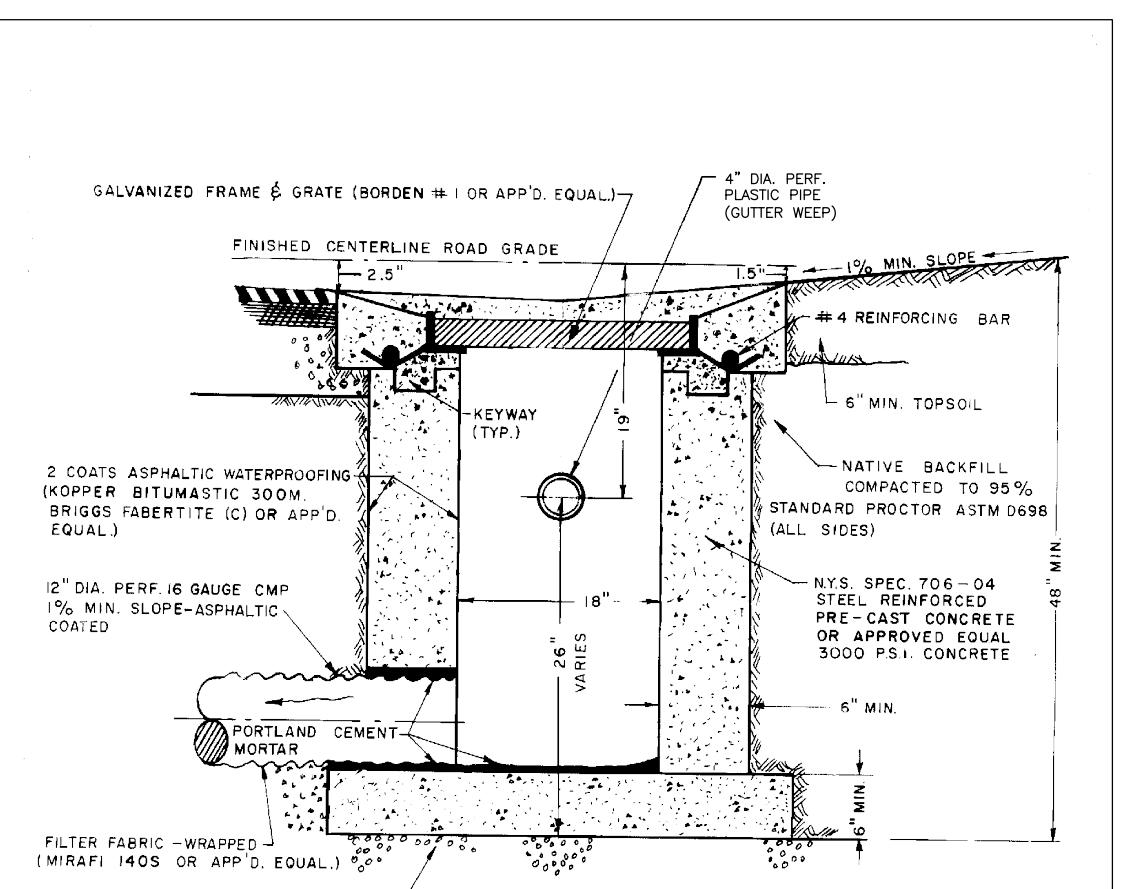
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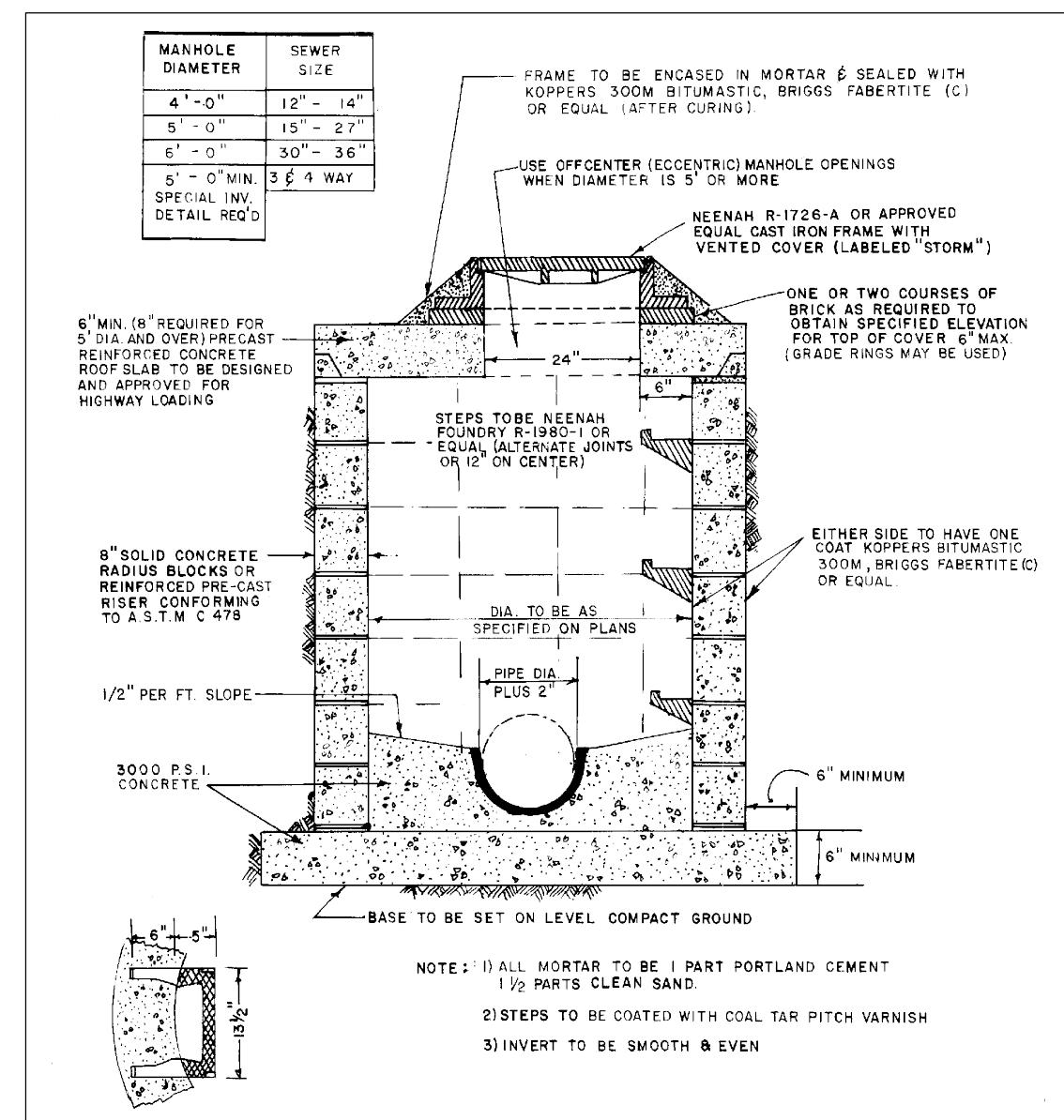
**FINAL SECTION 3 PLANS  
for  
WESTWOOD ESTATES  
SUBDIVISION**



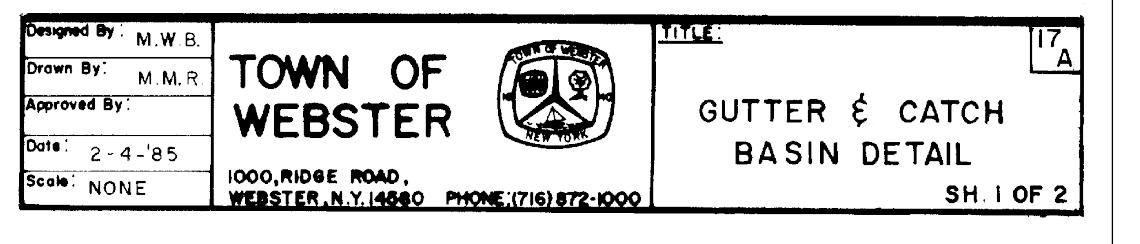
Designed By: DBH  
Drawn By: DBH  
Approved By: DBH  
Title: TYPICAL ROAD 22  
Cross Section  
Town of Webster  
Date: 12-25-98  
Scale: None



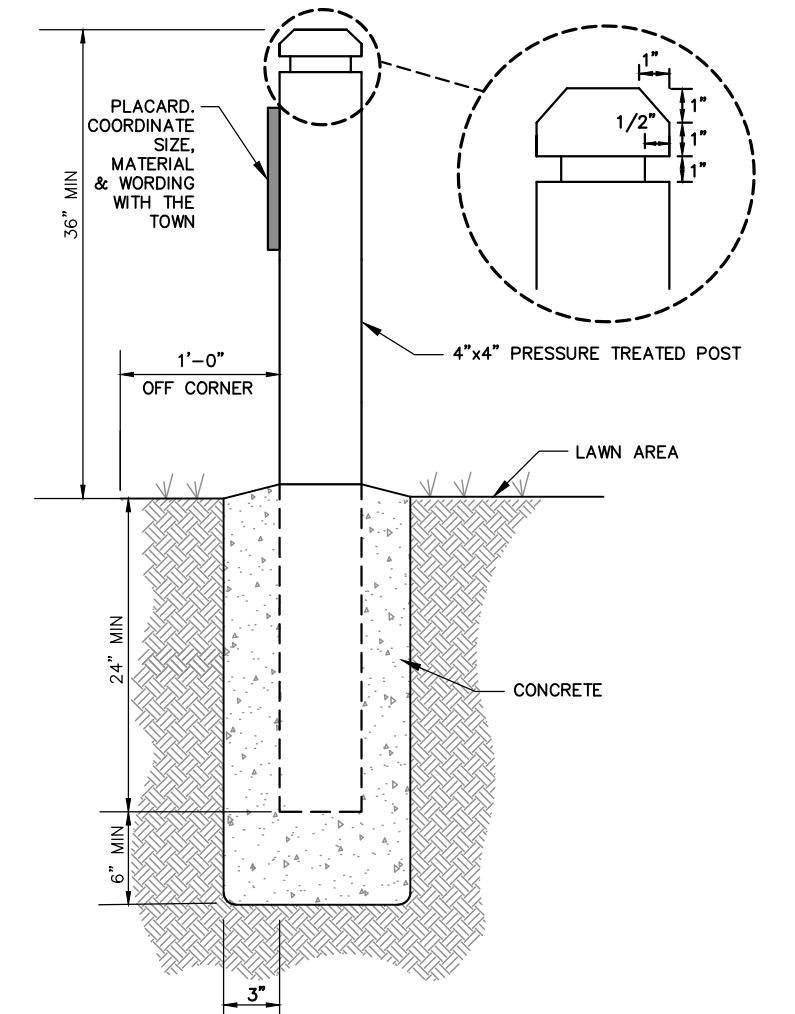
Highway Monuments  
May be round or square - see below  
Placed at every change of direction on one  
Side of the ROW  
Must be almost flush to 1" below grade  
If a conflict occurs wdriveway or other  
\*Use Neema cast frame and cover 1/2" below  
\*Relocate and revise record map showing  
old location  
Monument record map must be provided.  
Electronic file is ok i.e. pdf



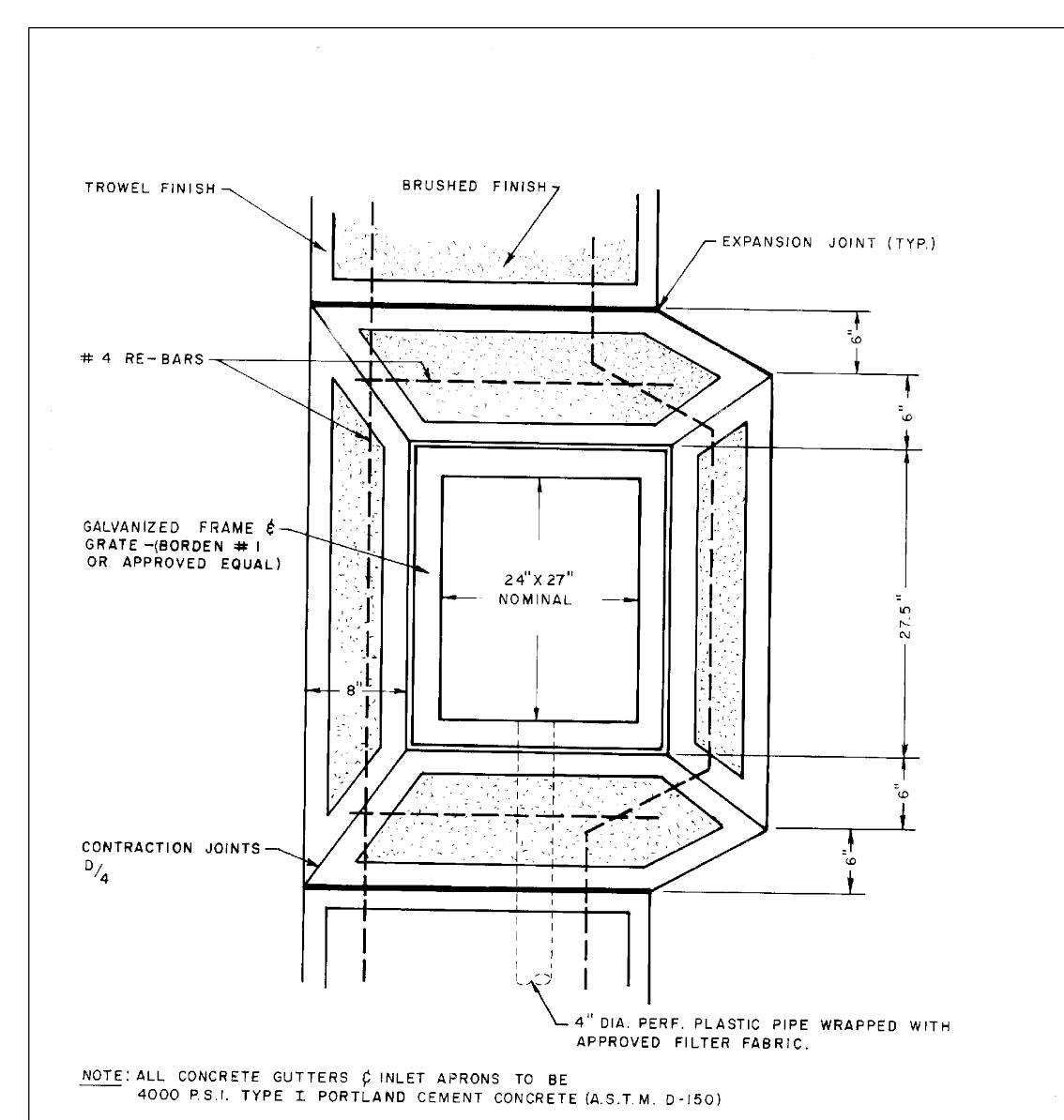
Designed By: M.W.B.  
Drawn By: M.W.B.  
Approved By: M.W.B.  
Title: 4  
Storm Manhole  
Detail  
Town of Webster  
Date: 11-15-84  
Scale: None



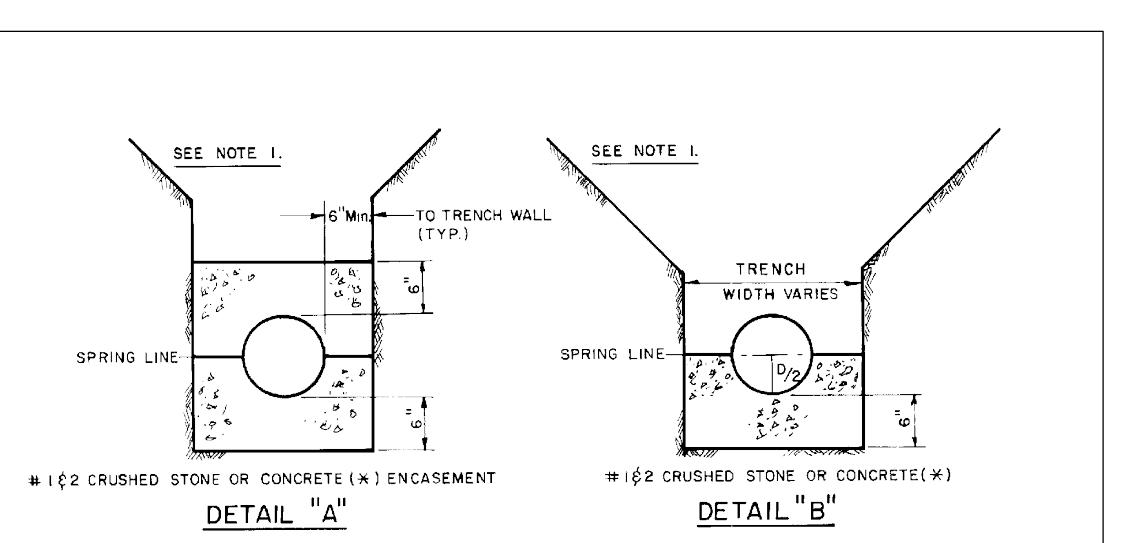
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Drawn By: M.W.B.  
Approved By: M.W.B.  
Title: 17A  
Gutter & Catch  
Basin Detail  
Town of Webster  
Date: 2-4-85  
Scale: None



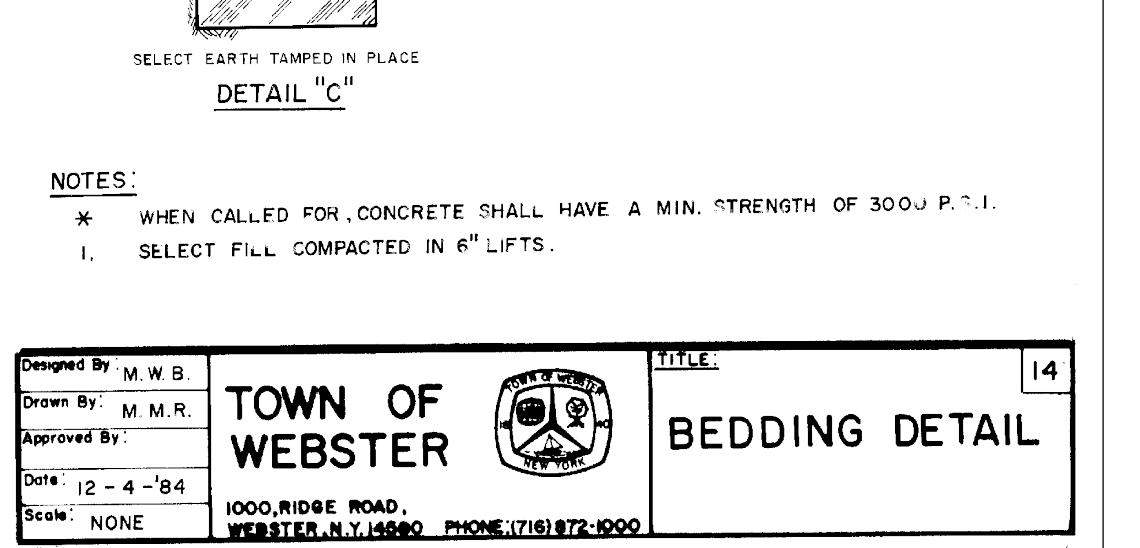
OPEN SPACE/WETLAND PLACARD  
NOT TO SCALE



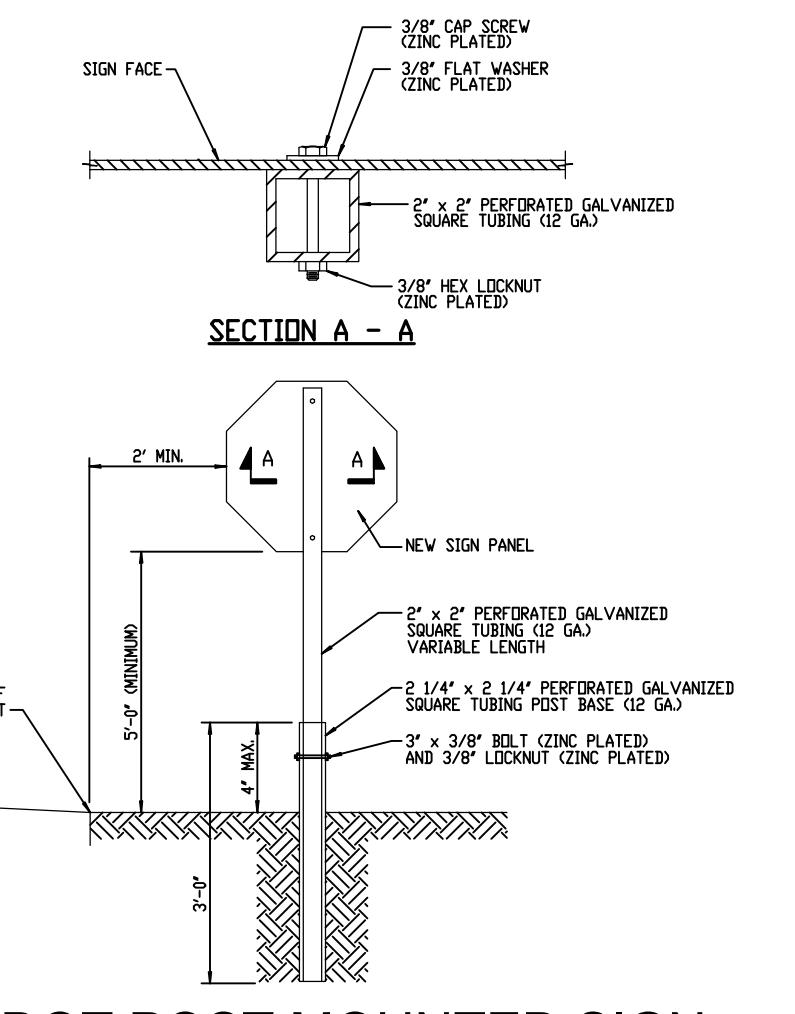
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Drawn By: M.W.B.  
Approved By: M.W.B.  
Title: 17B  
Gutter & Catch  
Basin Detail  
Town of Webster  
Date: 3-3-85  
Scale: None



Designed By: M.W.B.  
Drawn By: M.W.B.  
Approved By: M.W.B.  
Title: 4  
Storm Manhole  
Detail  
Town of Webster  
Date: 11-15-84  
Scale: None



Designed By: M.W.B.  
Drawn By: M.W.B.  
Approved By: M.W.B.  
Title: 14  
Bedding Detail  
Town of Webster  
Date: 12-4-84  
Scale: None



MCDOT POST MOUNTED SIGN  
INSTALLATION IN SOIL WITHOUT CURB  
NOT TO SCALE

JOB NO: 0761-23  
SCALE: AS SHOWN  
DRAWN: PBG  
DESIGNED: RPB  
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LEARNED PROFESSIONAL ENGINEER  
#066924

DRAWING TITLE:  
CONSTRUCTION  
DETAILS

13 of 16  
SHEET NO:  
C9.0  
0761-23  
DRAWING NO:  
JOB NO:



39 CASCADE DRIVE  
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ITHACA LOCATION  
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STATE OF NEW YORK  
451 SALT ROAD  
MONROE COUNTY

STATE OF NEW YORK

## FINAL SECTION 3 PLANS for WESTWOOD ESTATES SUBDIVISION

|           |            |
|-----------|------------|
| JOB NO:   | 0761-23    |
| SCALE:    | AS SHOWN   |
| DRAWN:    | PBG        |
| DESIGNED: | RPB        |
| DATE:     | 04/16/2024 |

### REVISIONS

| DATE | BY | REVISION |
|------|----|----------|
|      |    |          |

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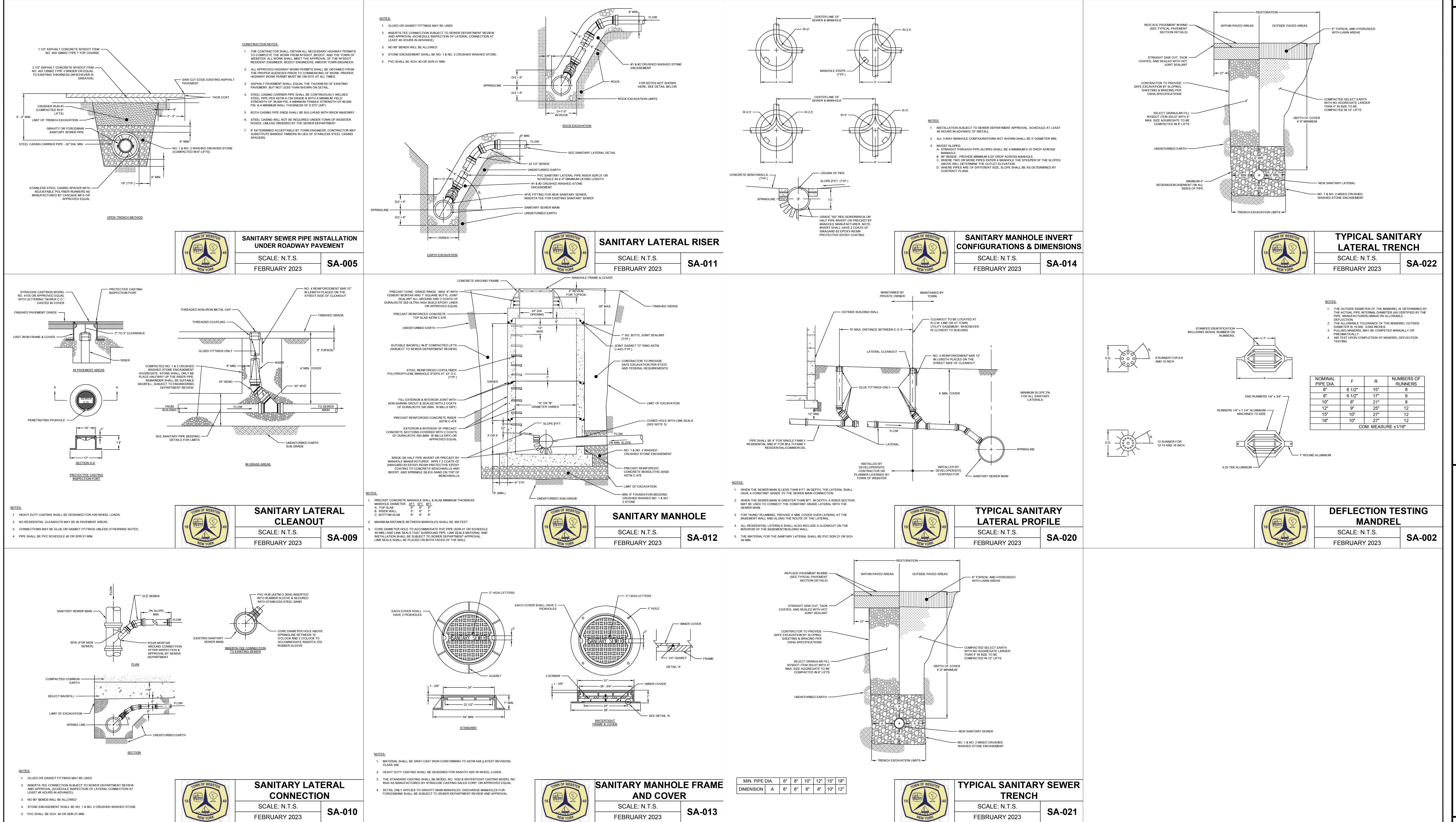
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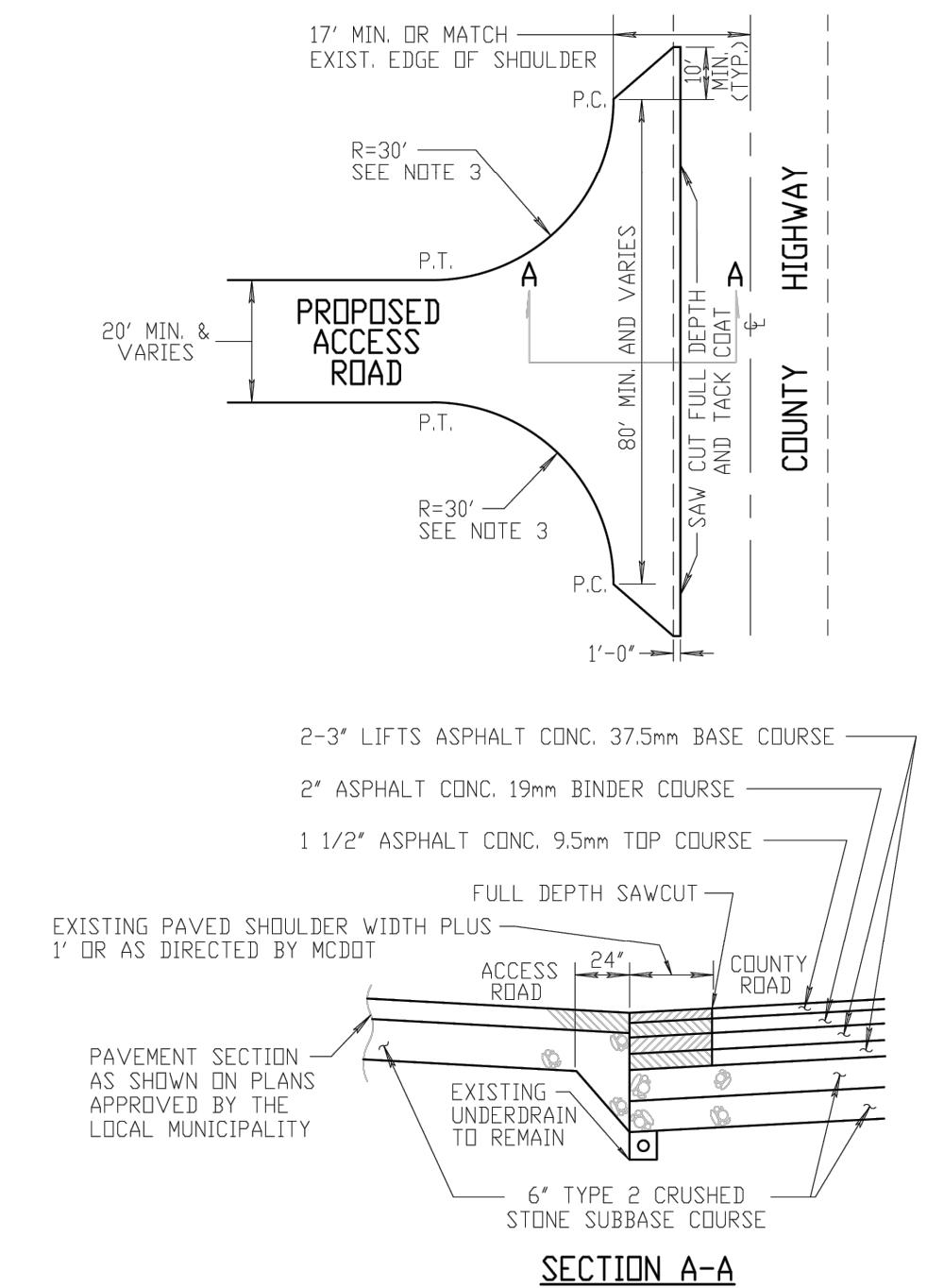
### DRAWING TITLE: CONSTRUCTION DETAILS

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| 14 of 16  |      |
| SHEET NO: |      |
| 0761-23   | C9.1 |

DRAWING NO:



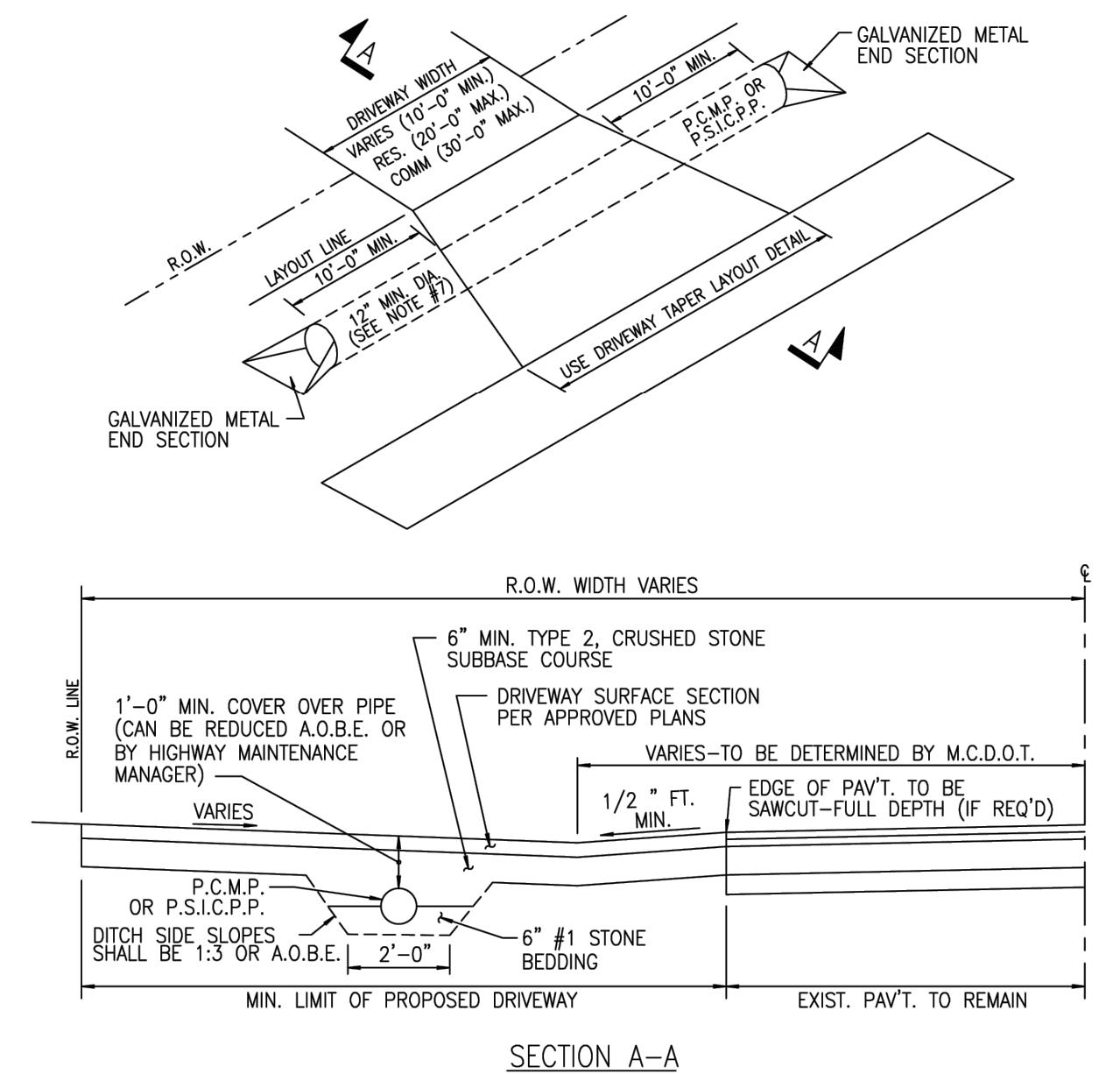




NOTES:

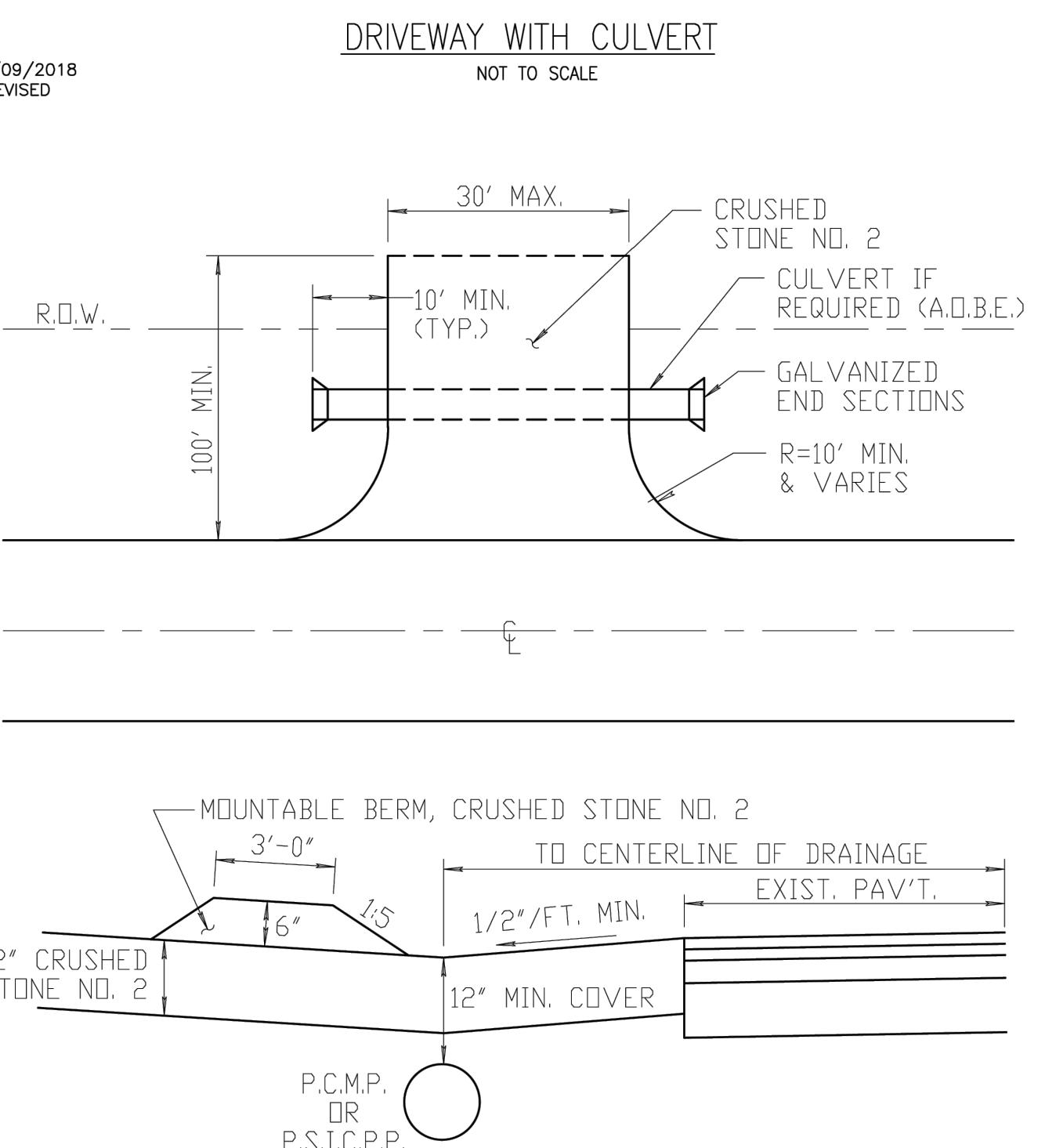
1. ALL ACCESS ROADS SHALL MEET THE COUNTY HIGHWAY AT A RIGHT ANGLE (90°), UNLESS OTHERWISE AUTHORIZED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS OR DESIGNEE.
2. RIGHT-OF-WAY WIDTH VARIES.
3. RADIUS MAY VARY DEPENDING ON PROPOSED VEHICLE USAGE FOR ACCESS ROAD.

9/17/14



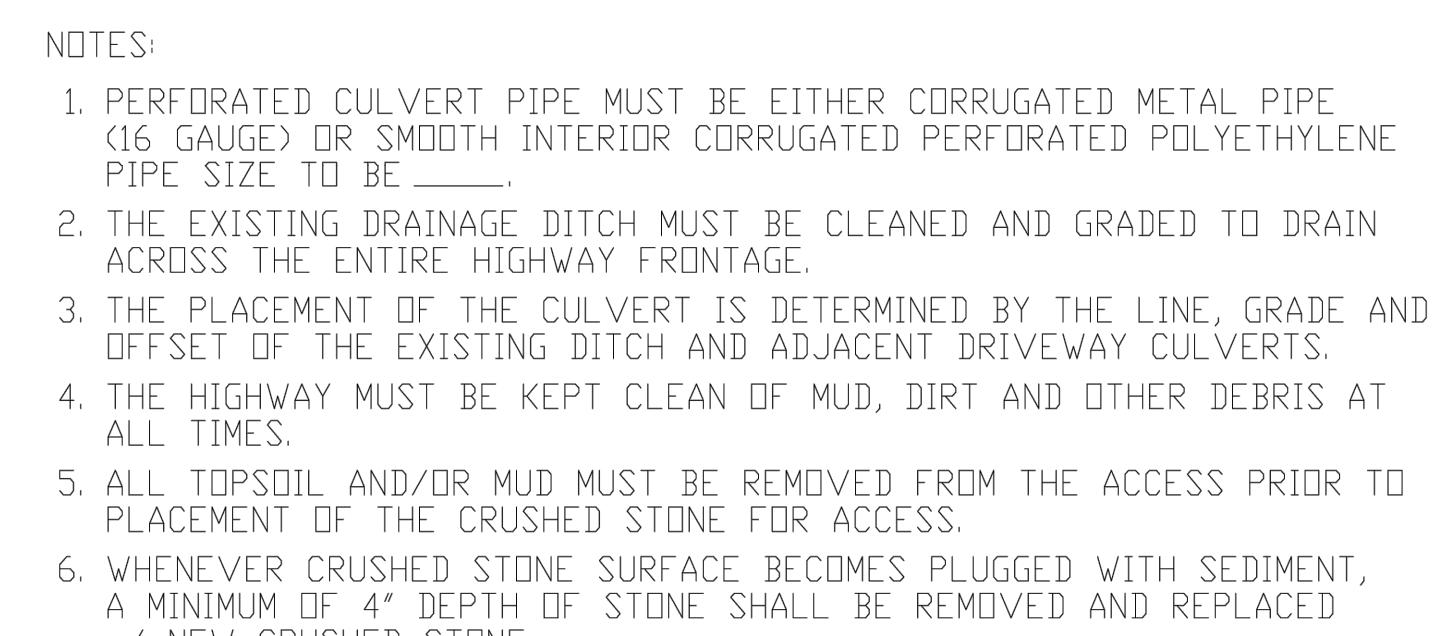
OTES:

1. CULVERT PIPE MUST BE EITHER PERFORATED CORRUGATED METAL PIPE (PCMP), (16 GAUGE) OR SMOOTH INTERIOR CORRUGATED PERFORATED POLYETHYLENE PIPE (SICPPP). PIPE SIZE TO BE \_\_\_\_\_ .
2. THE EXISTING DRAINAGE DITCH MUST BE CLEANED AND GRADED TO DRAIN ACROSS THE ENTIRE HIGHWAY FRONTAGE.
3. TOPSOIL AND SEED ALL DISTURBED AREAS.
4. THE PLACEMENT OF THE CULVERT IS DETERMINED BY THE LINE, GRADE AND OFFSET OF THE EXISTING DITCH AND ADJACENT DRIVEWAY CULVERTS.
5. IT IS DESIRABLE THAT DRIVEWAYS TO COUNTY ROADS BE PAVED TO THE RIGHT-OF-WAY LINE. THE DRIVEWAY SHALL SLOPE AWAY FROM THE OUTSIDE EDGE OF THE SHOULDER AT A MINIMUM OF 1/2 INCH PER FOOT TO THE CENTERLINE OF DRAINAGE.
6. REFER TO CONCRETE APRON OR DRIVEWAY SECTION DETAIL FOR CONCRETE DRIVEWAYS.
7. SMALLER SIZE PIPES MAY BE PERMITTED BY MCDOT, DEPENDING ON CONDITIONS.



6/13/13

REVISED



STORM SEWER TRENCH IN PAVED AREA  
NOT TO SCALE

5/14/14

TEMPORARY CONSTRUCTION ACCESS

NOT TO SCALE

REVISED

5/14/14  
REVISED

REV

|           |            |
|-----------|------------|
| JOB NO:   | 0761-23    |
| SCALE:    | AS SHOWN   |
| DRAWN:    | PBG        |
| DESIGNED: | RPB        |
| DATE:     | 04/16/2024 |
| REVISIONS |            |

| DATE   | BY | REVISION |
|--|----|----------|
| <p>IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.</p> |    |          |

The image shows the official seal of the State of New York. It is a circular emblem with a five-pointed star in the center. The star is surrounded by a circular border containing the text "STATE OF NEW YORK" at the top and "ROBERT P. BRINGLEY" at the bottom. The center of the seal features an eagle perched on a shield. The shield contains a figure holding a sword and a figure holding a scale, with the motto "EXCELSIS TERRA NOVA" and the year "1788" visible. Below the shield is a banner with the text "NOV 066924". The entire seal is enclosed in a decorative circular border.

**DRAWING TITLE:**  
**CONSTRUCTION**  
**DETAILS**

|           |             |
|-----------|-------------|
| 16 of 16  |             |
| SHEET No: | C9.3        |
| 0761-23   |             |
| JOB No:   | DRAWING No: |