

TAKE 5 OIL CHANGE
1045 RIDGE ROAD
SITE DEVELOPMENT PLANS
TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK

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LOCATION SKETCH
SCALE: 1"=1000'

APPROVALS

BY: Garrett H. (max) Gray DATE: 10/13/23
TOWN ENGINEER

BY: Anthony Caviani DATE: 10/23/23
PLANNING BOARD CHAIRPERSON

BY: N/A DATE: _____
TOWN ASSESSOR

BY: Patricia S. S. S. DATE: 10-24-2023
HIGHWAY SUPERINTENDENT

BY: [Signature] DATE: 10-24-23
WEBSTER SEWER DISTRICT

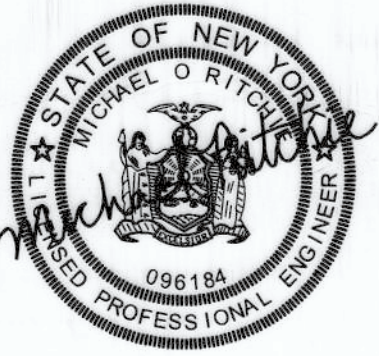
BY: [Signature] DATE: 10/23/23
FIRE MARSHAL

BY: [Signature] DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT

QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523



CIVIL
ENGINEERING
LAND
SURVEYING
LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020



TAKE 5 OIL CHANGE
1045 RIDGE ROAD
SITE DEVELOPMENT PLANS
TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK

SITE DEVELOPMENT PLANS

REVISD: 09/29/2023
DATE: APRIL 12, 2023

PROJECT NO. 8965 SHEET NO. GA001
SHEET 1 OF 13

PROJECT NAME AND LOCATION

1045 RIDGE ROAD
WEBSTER, NEW YORK 14580

OPERATOR'S NAME AND ADDRESS

P5 NY, LLC, A NEW YORK LIMITED
LIABILITY COMPANY
3030 N. ROCKY POINT DRIVE, SUITE 262
TAMPA, FLORIDA 33607

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
B. MULCHING EXPOSED AREAS.
C. SOIL ROUGHENING.
D. FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. PAVEMENT

STRUCTURAL PRACTICES (TEMPORARY)

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. INLET PROTECTION
B. PERIMETER PROTECTION USING SILTATION FENCING
C. STABILIZED CONSTRUCTION EXIT POINTS

OTHER CONTROLS

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEPED AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE ABOUT SIX (6) INCHES IN HEIGHT.
C. FREQUENT WATERING AND FILL AREAS.
D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

GENERAL NOTES

1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE. CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE AND/OR NYSOT.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
3. EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
4. ALL CONSTRUCTION WORK SHALL CONFORM TO TOWN OF WEBSTER DESIGN AND CONSTRUCTION STANDARDS.
5. A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING TIE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

MATERIALS MANAGEMENT PLAN

MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:
CONCRETE/ADDITIVES/WASTES
DETERGENTS
PAINTS/SOLVENTS
ACIDS
SOLID AND CONSTRUCTION WASTES
SOIL STABILIZATION ADDITIVES

CLEANING SOLVENTS
PETROLEUM BASED PRODUCTS
PESTICIDES
FERTILIZERS
SANITARY WASTES

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

- A. GOOD HOUSEKEEPING
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
6. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
7. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

- B. HAZARDOUS PRODUCTS
THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

- C. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

- D. PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE.

1. PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
2. FERTILIZERS:
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
3. PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
4. CONCRETE WASTES:
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

MATERIALS MANAGEMENT PLAN (CONT.)

- E. SOLID AND CONSTRUCTION WASTES:
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE LOCAL ENTITY. THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- F. SANITARY WASTES:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- G. CONTAMINATED SOILS:
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- A. IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:

1. ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.

2. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.

3. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.

4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

- B. IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED

1. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

2. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.

3. THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-429-6281 (1-888-HAZMAT 1) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.

4. IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE REOCCURENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.

- C. THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

APPROVALS

BY: Joe Chittum (mas group) DATE: 10/13/23
TOWN ENGINEER

BY: Charles Carroon DATE: 10/20/23
PLANNING BOARD CHAIRPERSON



BY: n/a DATE: _____
TOWN ASSESSOR

BY: Bob DATE: 10-21-2023
HIGHWAY SUPERINTENDENT

BY: Best DATE: 10-24-23
WEBSTER SEWER DISTRICT

BY: C. J. M. DATE: 10/23/23
FIRE MARSHAL

BY: Shana Antonio DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT

				COPYRIGHT © 2023 COSTICH ENGINEERING, D.P.C.								PROJECT MANAGER E.R.G. DRAWN BY E.L.O. BOUNDARY --- TOPOBASE --- DATE 04/12/2023 SCALE N.T.S.				 COSTICH ENGINEERING 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020				TITLE OF PROJECT TAKE 5 OIL CHANGE 1045 RIDGE ROAD TITLE OF DRAWING GENERAL NOTES AND LEGEND SHEET LOCATION OF PROJECT TAX PARCEL NO. 079.15-1-8.009 TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK CLIENT QUATTRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 140 OAKBROOK, ILLINOIS 60523 DWG. # 8965 GA002 SHEET 2 OF 13			
1				08/16/2023				REVISED PER MARK-UPS				J.P.											
NO.				DATE				REVISION				BY				CHKD.				APVLS.			



LINE & SYMBOL LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL

DEMOLITION LEGEND

- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING DECIDUOUS & CONIFEROUS TREE TO BE REMOVED
- INLET PROTECTION
- SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CONCRETE CURB

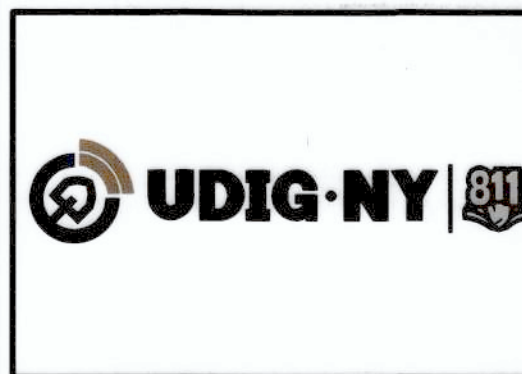
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APPROVALS

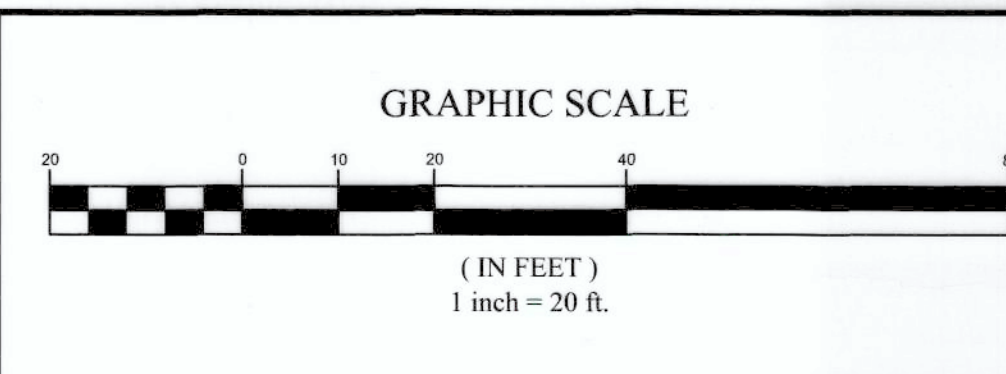
- By: *Paul C. O'Connell* (MRS. GROUP) DATE: 10/13/23
TOWN ENGINEER
- By: *Anthony P. Casimiro* DATE: 10/23/23
PLANNING BOARD CHAIRPERSON
- By: *Dana M. Komer, UO* DATE: 10/19/2023
TOWN ASSESSOR
- By: *Patricia L. ...* DATE: 10-24-2023
HIGHWAY SUPERINTENDENT
- By: *Carl ...* DATE: 10-24-2023
WEBSTER SEWER DISTRICT
- By: *E. J. ...* DATE: 10/23/23
FIRE MARSHAL
- By: *Dana M. Komer* DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT

REFERENCES

- MAP ENTITLED "ALTA / NSPS LAND TITLE SURVEY" PREPARED NUSSBAUMER & CLARK, INC. BY: HAVING A DRAWING NUMBER OF 22J2-1334, DATED 09/07/2022



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	APVLS.
1	09/16/2023	REVISED PER MARK-UPS			J.P.

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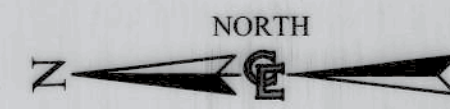


PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY
TOPOBASE
DATE
04/12/2023
SCALE
1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT	TAKE 5 OIL CHANGE 1045 RIDGE ROAD
TITLE OF DRAWING	EXISTING FEATURES & DEMOLITION PLAN
LOCATION OF PROJECT	TAX PARCEL NO. 079.15-1-8.009 TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT	QUATTRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 140 OAKBROOK, ILLINOIS 60523
DWG #	8965
SHEET	3 OF 13



APPROVALS

BY: Paul C. Blum (MRS. GRAP) DATE: 10/18/23
TOWN ENGINEER

BY: Anthony Casarini DATE: 10/23/23
PLANNING BOARD CHAIRPERSON

BY: Diana M. Gomez, LTO DATE: 10/19/2023
TOWN ASSESSOR

BY: _____ DATE: _____
HIGHWAY SUPERINTENDENT

BY: C. J. L. DATE: 10/24/23
WEBSTER SEWER DISTRICT

BY: E. J. L. DATE: 10/23/23
FIRE MARSHAL

BY: Diana Casarini DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT

SITE LINE LEGEND

--- PARCEL BOUNDARY
--- EXISTING RIGHT-OF-WAY LINE
--- EXISTING ADJACENT PROPERTY LINE
--- MIN. BUILDING SETBACK
--- CENTER LINE
--- EXISTING EASEMENT LINE
--- EXISTING BUILDING
--- EXISTING CONCRETE CURB
--- EXISTING EDGE OF PAVEMENT
--- EXISTING EDGE OF GRAVEL
--- EXISTING CONC. PAD/ CONC. SIDEWALK
--- EXISTING GUARD RAIL
--- EXISTING TREES, HEDGE, EDGE OF WOODS
--- EXISTING STOCKADE & CHAIN LINK FENCE
--- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
--- PROPOSED EDGE OF PAVEMENT
--- PROPOSED CONCRETE CURB
--- PROPOSED BUILDING
--- PROPOSED SIDEWALK

SITE DATA

- 1045 RIDGE ROAD
TAX PARCEL NO. 079.15-1-8.009
TOTAL PARCEL AREA: 1.22+ ACRES (53,101.74 S.F.)
- ZONING: MEDIUM-INTENSITY COMMERCIAL DISTRICT (MC)
 - PROPOSED BUILDING S.F. AREA: 1,610 S.F. ±
 - DISTRICT REGULATIONS:

REQUIREMENTS	REQUIRED	PROPOSED
FRONT	50'	70.4'
SIDE	20'	50.8'
REAR	75'	188.9'
LOT COVERAGE (MAX.)	20%	3%
BUILDING HEIGHT (MAX.)	35'	<35'
 - PARKING SPACE REQUIREMENT:
MOTOR VEHICLE SERVICE STATION = 3 SPACES PER SERVICE BAY (3X3 = 9 SPACES)

TOTAL PARKING REQUIRED = 9 PARKING SPACES

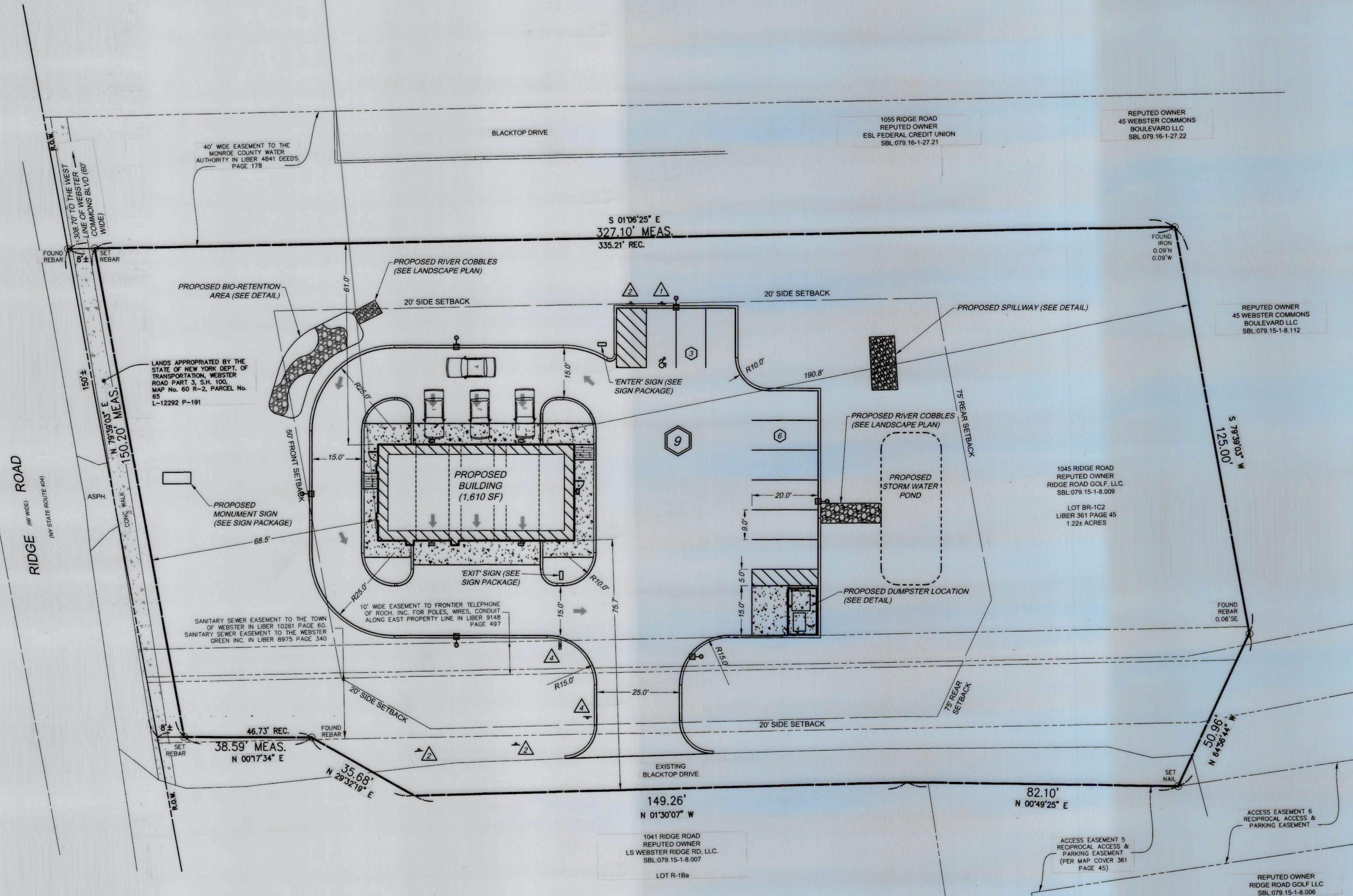
PARKING PROVIDED:

ADA/ACCESSIBLE	1 SPACES
TOTAL PARKING SPACES	9 SPACES

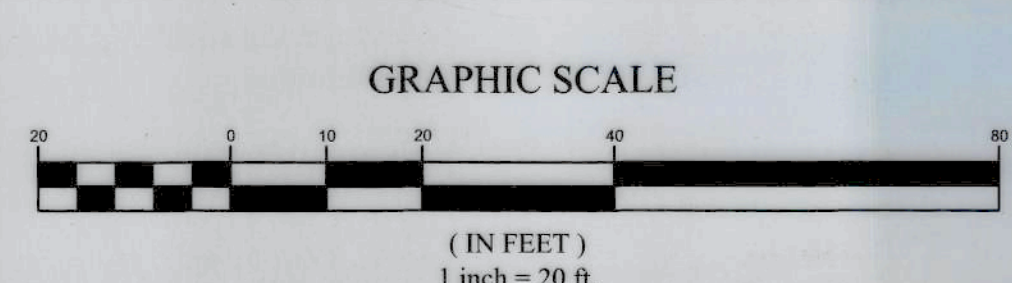
AREA OF DISTURBANCE = 1.22 ACRES OR 53,143.2 S.F.

SIGN LEGEND

SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
1	RESERVED PARKING	NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"	1
2	NO PARKING ANY TIME	R7-1	12"x18" RED ON WHITE	"C"	7'-0"	3
3	VAN ACCESSIBLE	R7-8B	12"x6" WHITE ON BLUE	"C"	7'-0"	1
4	STOP	R1-C	30"x30" OCTAGONAL WHITE ON RED	"A"	7'-0"	2



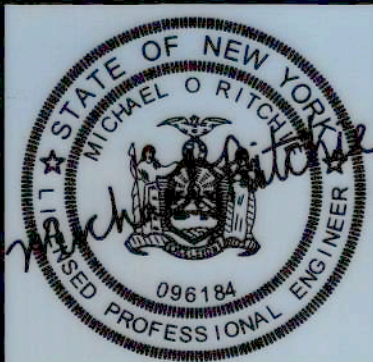
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NO.	DATE	REVISION	BY	CHKD.	APVLS.
2	09/28/2023	REVISED PER MRB COMMENTS			E.R.G.
1	08/16/2023	REVISED PER MARK-UPS			J.P.

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PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY

TOPOBASE

DATE
04/12/2023
SCALE
1"=20'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT
**TAKE 5 OIL CHANGE
1045 RIDGE ROAD**

TITLE OF DRAWING
SITE PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 079.15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK

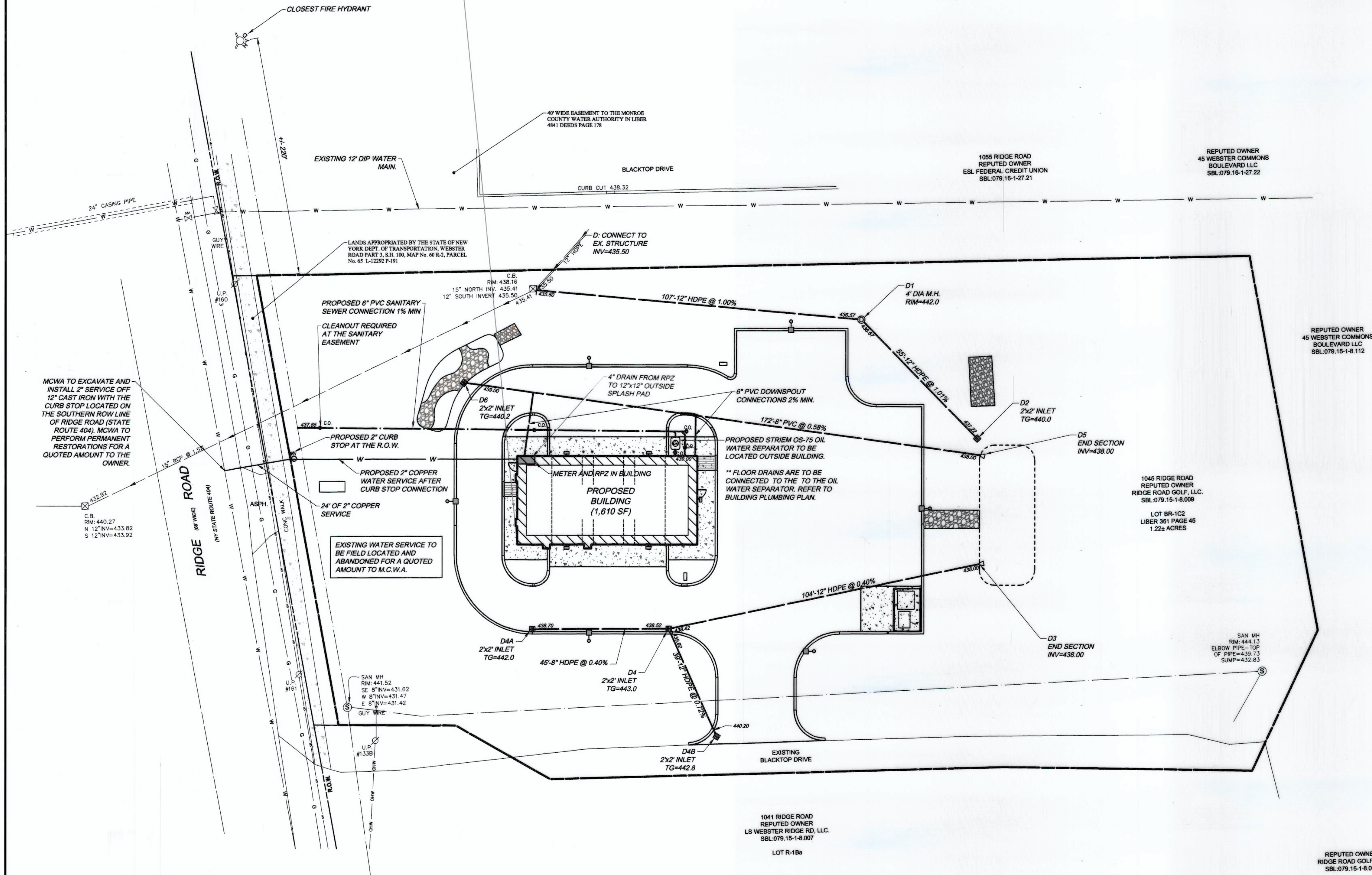
CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG. # 8965
CA110
SHEET 4 OF 13



UTILITY LINE LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- PROPOSED WATER MAIN, VALVE, & HYDRANT
- PROPOSED SANITARY SEWER, & MANHOLE
- PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- PROPOSED OVERHEAD UTILITIES
- PROPOSED TELEPHONE
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE



APPROVALS		
BY: <i>Robert J. ...</i>	TOWN ENGINEER	DATE: 10/19/2023
BY: <i>Anthony ...</i>	PLANNING BOARD CHAIRPERSON	DATE: 10/19/23
BY: <i>Donna M. ...</i>	TOWN ASSESSOR	DATE: 10/19/2023
BY: <i>Pat ...</i>	HIGHWAY SUPERINTENDENT	DATE: 10-19-2023
BY: <i>...</i>	WEBSTER SEWER DISTRICT	DATE: 10-24-23
BY: <i>...</i>	FIRE MARSHAL	DATE: 10/19/23
BY: <i>...</i>	DIRECTOR OF COMMUNITY DEVELOPMENT	DATE: 10/23/23
BY: <i>...</i>	MONROE COUNTY WATER AUTHORITY	DATE: 11/3/23

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

NO.	DATE	REVISION	BY	CHKD.	APVLS.
5	10/11/2023	REVISED PER TOWN SEWER COMMENTS			
4	09/25/2023	REVISED PER TOWN SEWER COMMENTS			
3	09/18/2023	REVISED PER MARK-UPS			
2	07/31/2023	REVISED PER MCWA COMMENTS DATED 7/31/2023			
1	07/26/2023	REVISED PER MCWA COMMENTS DATED 7/27/2023			

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PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY
TOPOGRAPHY
DATE
04/12/2023
SCALE
1"=20'

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1045 RIDGE ROAD

TITLE OF DRAWING
UTILITY PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 079.15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60521

DWG. # 8965
CA120
SHEET 5 OF 13



GRADING LINE LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- TREES, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- EXISTING STOCKADE & CHAIN LINKED FENCE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION @ x
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION @ x
- SILT FENCE
- ORANGE SAFETY FENCE
- COMPOST FILTER SOCK
- LIMIT OF DISTURBANCE
- PROPOSED INLET PROTECTION

LEGEND



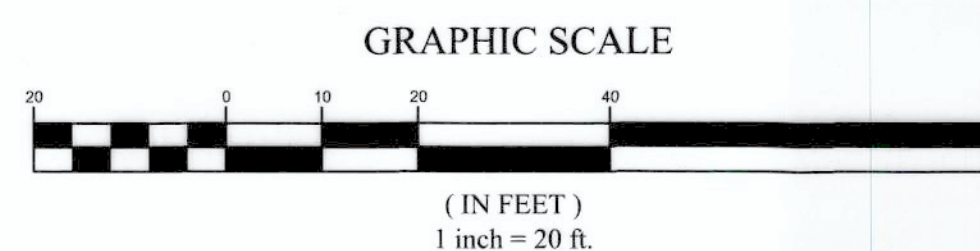
AREA OF DISTURBANCE = 1.22 ACRES OR 53,143.2 S.F.

APPROVALS

- BY: *Paul Chittfield* (MRB Group) DATE: 10/13/23
TOWN ENGINEER
- BY: *Anthony Casarini* DATE: 10/25/23
PLANNING BOARD CHAIRPERSON
- BY: *Doreen M. Horner, LAD* DATE: 10/19/2023
TOWN ASSESSOR
- BY: *Patricia* DATE: 10-24-2023
HIGHWAY SUPERINTENDENT
- BY: *Carly* DATE: 10-24-23
WEBSTER SEWER DISTRICT
- BY: *C. J. White* DATE: 10/25/23
FIRE MARSHALL
- BY: *Shirley A. Latture* DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT



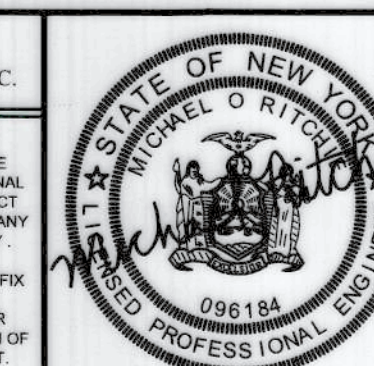
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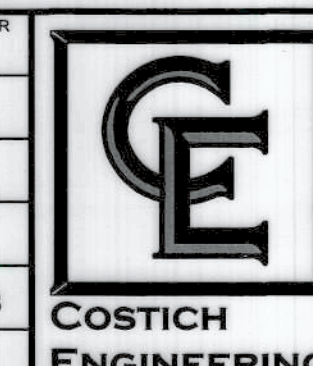
NO.	DATE	REVISION	BY	CHKD.	APVLS.
1	08/16/2023	REVISED PER MARK-UPS	J.P.		

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PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY
TOPOBASE
DATE
04/12/2023
SCALE
1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 459-3020

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1045 RIDGE ROAD

TITLE OF DRAWING
GRADING, DRAINAGE & EROSION CONTROL PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 079.15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER,
COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG # 8965
CA130
SHEET 6 OF 13



PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
DECIDUOUS TREES						
5	Al	ACER TRUNCATUM X A. PLATANOIDES 'KEITHFORM'	NORWEGIAN SUNSET MAPLE	2-2.5' CAL	BB	HT. 30-35', SP. 20-25'
2	Pc	PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PURPLELEAF PLUM	2-2.5' CAL	BB	HT. 15-20', SP. 15-20'
EVERGREEN TREES						
6	Js	JUNIPERUS SCOPOLORUM 'WITCHITA BLUE'	WITCHITA BLUE JUNIPER	6-8' HT. MIN.	BB	HT. 10-15', SP. 4-6'
SHRUBS						
3	Cs	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24" MIN. HT.	CONT.	HT. 3-4', SP. 3-4'
6	Tx	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	24" MIN. HT.	CONT.	HT. 1-1.5', SP. 4-5'
GRASSES, PERENNIALS, GROUND COVERS						
36	Ca	CALAMAGROSTIS X ACUTIFLORA	KARL FOERSTER FEATHER REED GRASS	NO. 3	CONT.	HT. 3-5', SP. 1-2'
23	Hm	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 2	CONT.	HT. 1-2', SP. 1-2'
2	Nf	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	NO. 3	CONT.	HT. 2', SP. 2-3'
8	Rm	ROSA 'MEIGALPIO'	RED DRIFT GROUNDCOVER ROSE	NO. 3	CONT.	HT. 1-1.5', SP. 2-2.5'
26	Ss	SALVIA X 'SYLVESTRIS'	APRIL NIGHT MEADOW SAGE	NO. 2	CONT.	HT. 12-14", SP. 12-14"
21	Sh	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED	NO. 3	CONT.	HT. 1-1.5', SP. 2-3'

ABBREVIATIONS:
BB=BALLED & BURLAPPED
BR=BARE ROOT
CAL=CALIPER IN INCHES
CONT.=CONTAINER
HT.=HEIGHT
NO.=GALLON SIZE
SP.=SPREAD

NOTES:
- CALIPER TO BE MEASURED 6" ABOVE GRADE
- PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

LEGEND



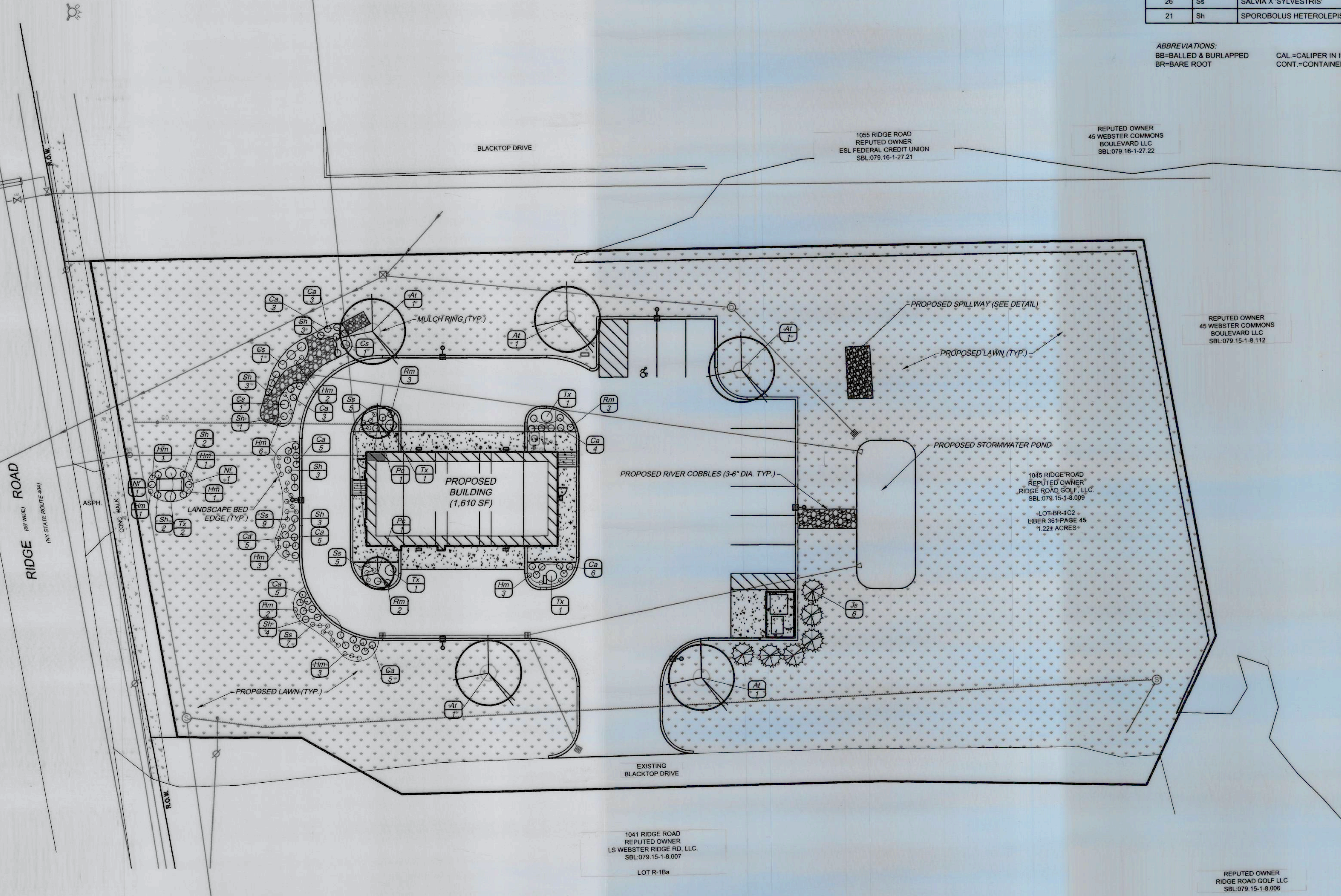
AREAS TO RECEIVE 6" OF
TOPSOIL AND TO BE
SEED WITH SPECIFIED
LAWN MIX

LANDSCAPE NOTES

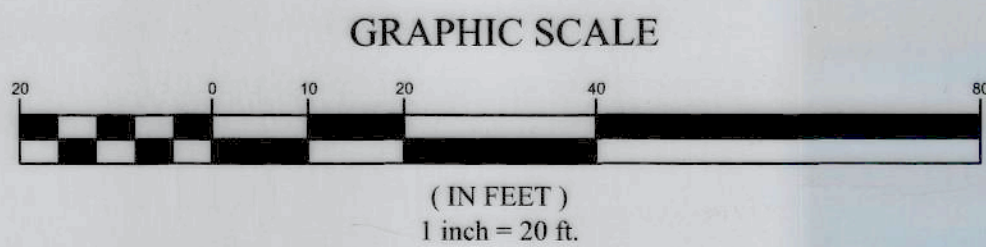
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
- A THREE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
- ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEED WITH SPECIFIED LAWN MIX.

APPROVALS

BY: *[Signature]* (MARGROW) DATE: 10/13/23
TOWN ENGINEER
BY: *[Signature]* DATE: 10/23/23
PLANNING BOARD CHAIRPERSON
BY: *[Signature]* DATE: 10-24-2023
TOWN ASSESSOR
BY: *[Signature]* DATE: 10-24-23
HIGHWAY SUPERINTENDENT
BY: *[Signature]* DATE: 10/23/22
WEBSTER SEWER DISTRICT
BY: *[Signature]* DATE: 10/23/22
FIRE MARSHALL
BY: *[Signature]* DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT



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PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY

TOP/BASE

DATE
04/12/2023
SCALE
1"=20'



CIVIL
ENGINEERING
LAND
SURVEYING
LANDSCAPE
ARCHITECTURE




217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1045 RIDGE ROAD

TITLE OF DRAWING
LANDSCAPE PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 079 15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER,
COUNTY OF MONROE, STATE OF NEW YORK
CLIENT
QUATTRO DEVELOPMENT LLC
110 KOBIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG # 8965
LA100
SHEET 7 OF 13



LUMINAIRE SCHEDULE							
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	POLE/BASE/MTG. HGT.	LLF	QTY
PK3		LITHIONA LIGHTING TYPE 3 (1) "D13" DSX1 LED P2 30K T3M MVOLT HS	(1)	19879	20 feet / 2 feet / 22 feet	0.85	3
PKF		LITHIONA LIGHTING FORWARD TH (1) "D1FH" DSX1 LED P2 30K T3M MVOLT HS	(1)	19364	20 feet / 2 feet / 22 feet	0.85	3
W3		LITHIONA LIGHTING WALL TYPE 2 (1) "W13" DSXW1 LED 10C 530 30K T3M MVOLT HS	(1)	4707	N.A. / N.A. / 14 feet	0.85	5

APPROVALS

BY: Paul Chitfield (MRS Group) DATE: 10/13/23
TOWN ENGINEER

BY: Anthony Casiani DATE: 10/23/23
PLANNING BOARD CHAIRPERSON

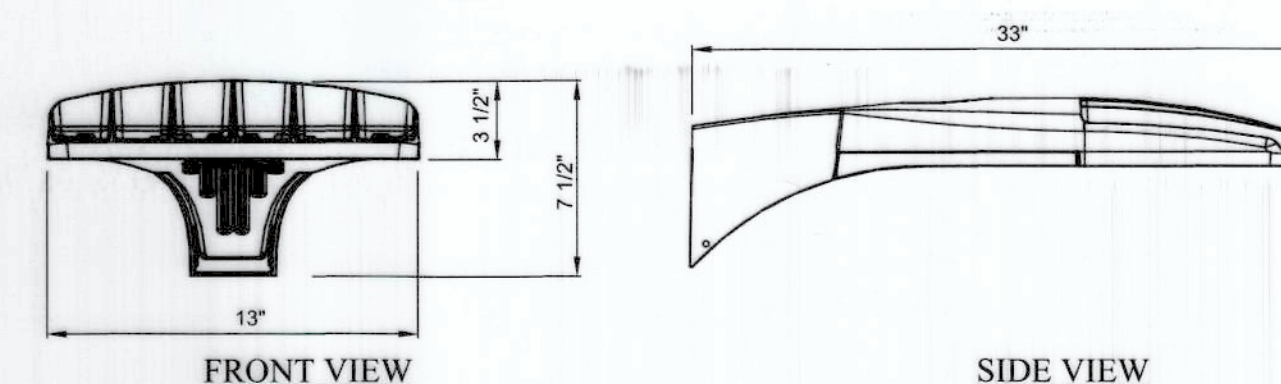
BY: N/A DATE: _____
TOWN ASSESSOR

BY: N/A DATE: _____
HIGHWAY SUPERINTENDENT

BY: N/A DATE: _____
WEBSTER SEWER DISTRICT


BY: C. P. Z... DATE: 10/23/23
FIRE MARSHALL

BY: Anna Lubao DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT

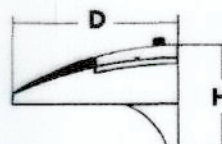


LITHONIA LIGHT FIXTURE DETAIL
NOT TO SCALE

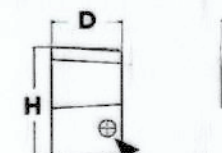
Width: 13-3/4" (34.9 cm)	Weight: 12 lbs (5.4 kg)	Width: 13-3/4" (34.9 cm)	BBW Weight: 5 lbs (2.3 kg)
Depth: 4" (10.2 cm)		Depth: 4" (10.2 cm)	ELCW Weight: 10 lbs (4.5 kg)
Height: 6-3/8" (16.2 cm)		Height: 6-3/8" (16.2 cm)	



W

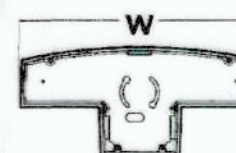


D
H



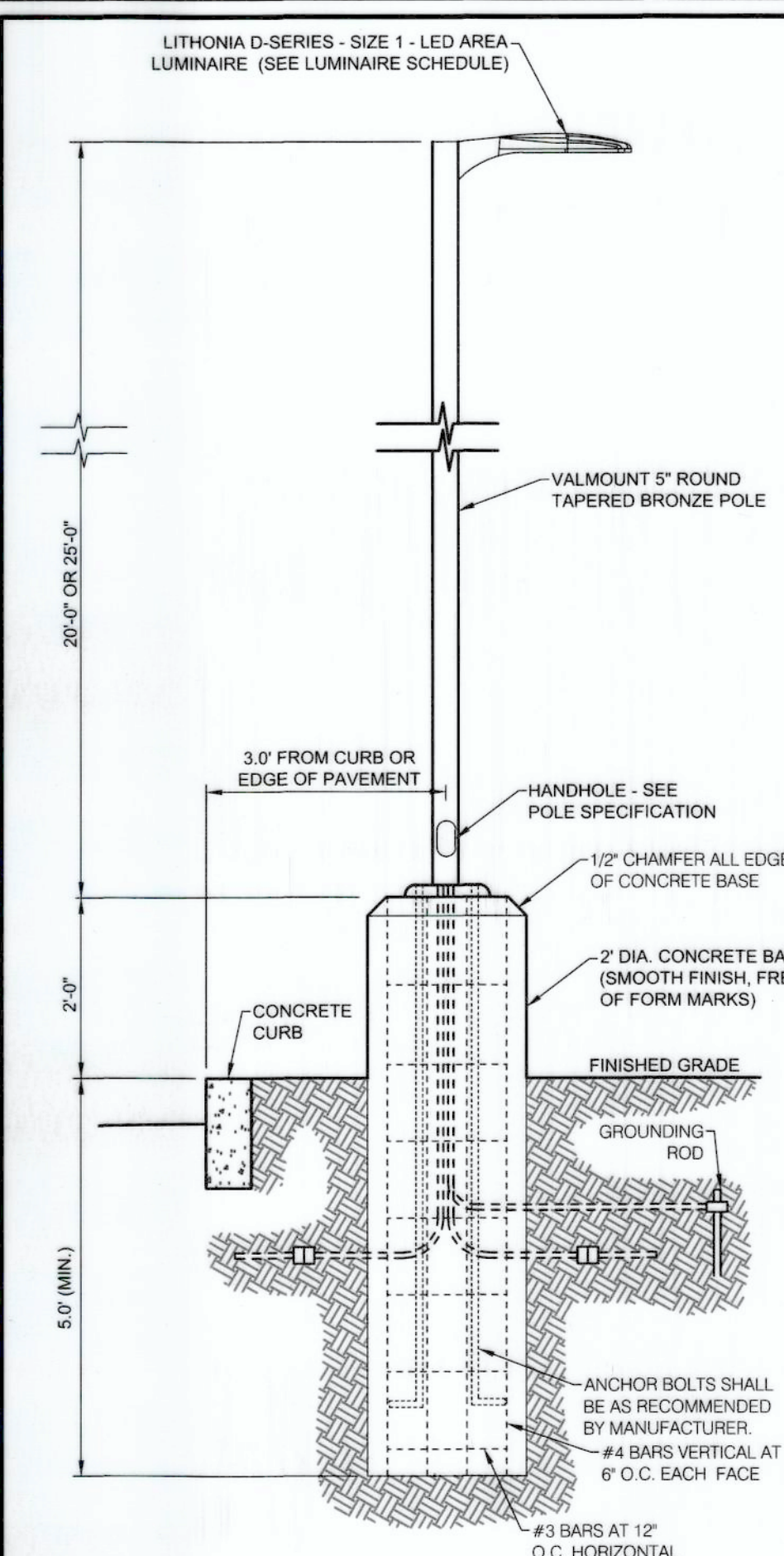
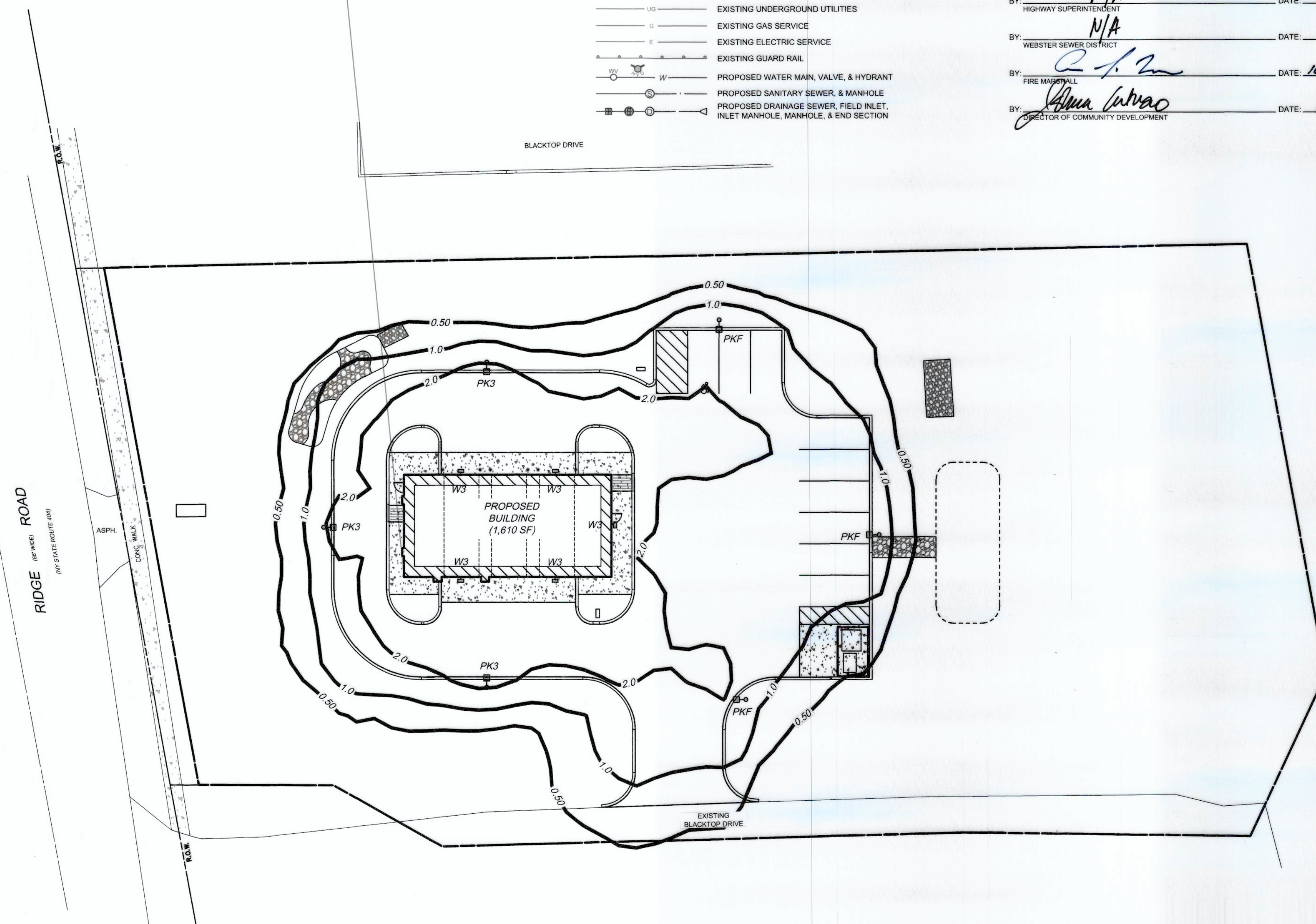
D
H

For 3/4" NPT side-entry conduit (BBW only)



W

LITHONIA LIGHT WALL MOUNTED
FIXTURE DETAIL
NOT TO SCALE

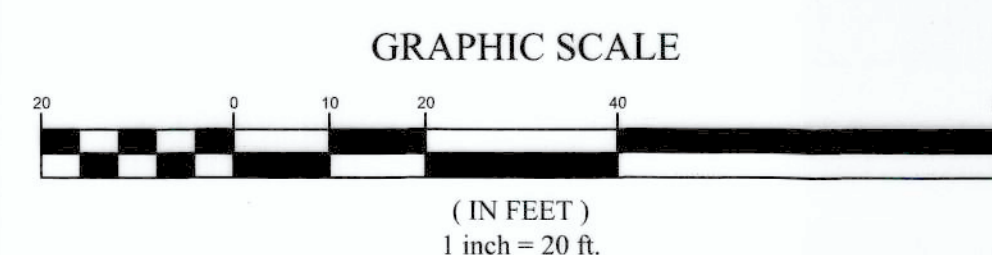


NOTES:
-REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS
-ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING
COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC.
AS NECESSARY

LITHONIA LIGHT POLE AND FIXTURE DETAIL
NOT TO SCALE

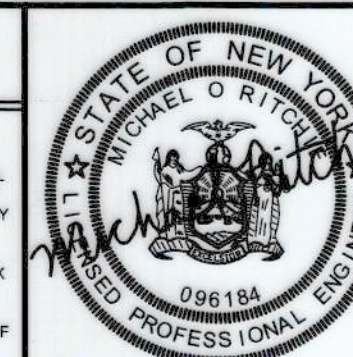


EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR UTILITIES PRIOR TO THE START DATE. ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

[illegible]

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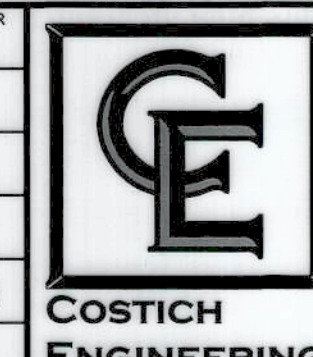
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	PROJECT MANAGE
	E.R.G.
	DRAWN BY
	E.L.O.
	BOUNDARY

TOPO/BASE	

DATE	
04/12/2023	
SCALE	
1"=20'	



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

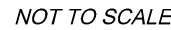
217 LAKE AVENUE
ROCHESTER, NY 14608
(716) 452-0000

TITLE OF PROJECT	TAKE 5 OIL CHANGE 1045 RIDGE ROAD	
TITLE OF DRAWING	LIGHTING PLAN	
LOCATION OF PROJECT	TAX PARCEL NO. 079.15-1-8.009 TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK	
CLIENT	QUATTRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 100 OAKBROOK, ILLINOIS 60153	DWG. # 8965 EA10

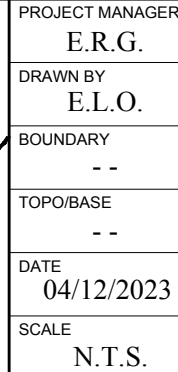
DWG. # 8965
EA100
SHEET 8 OF 8



NOT TO SCALE

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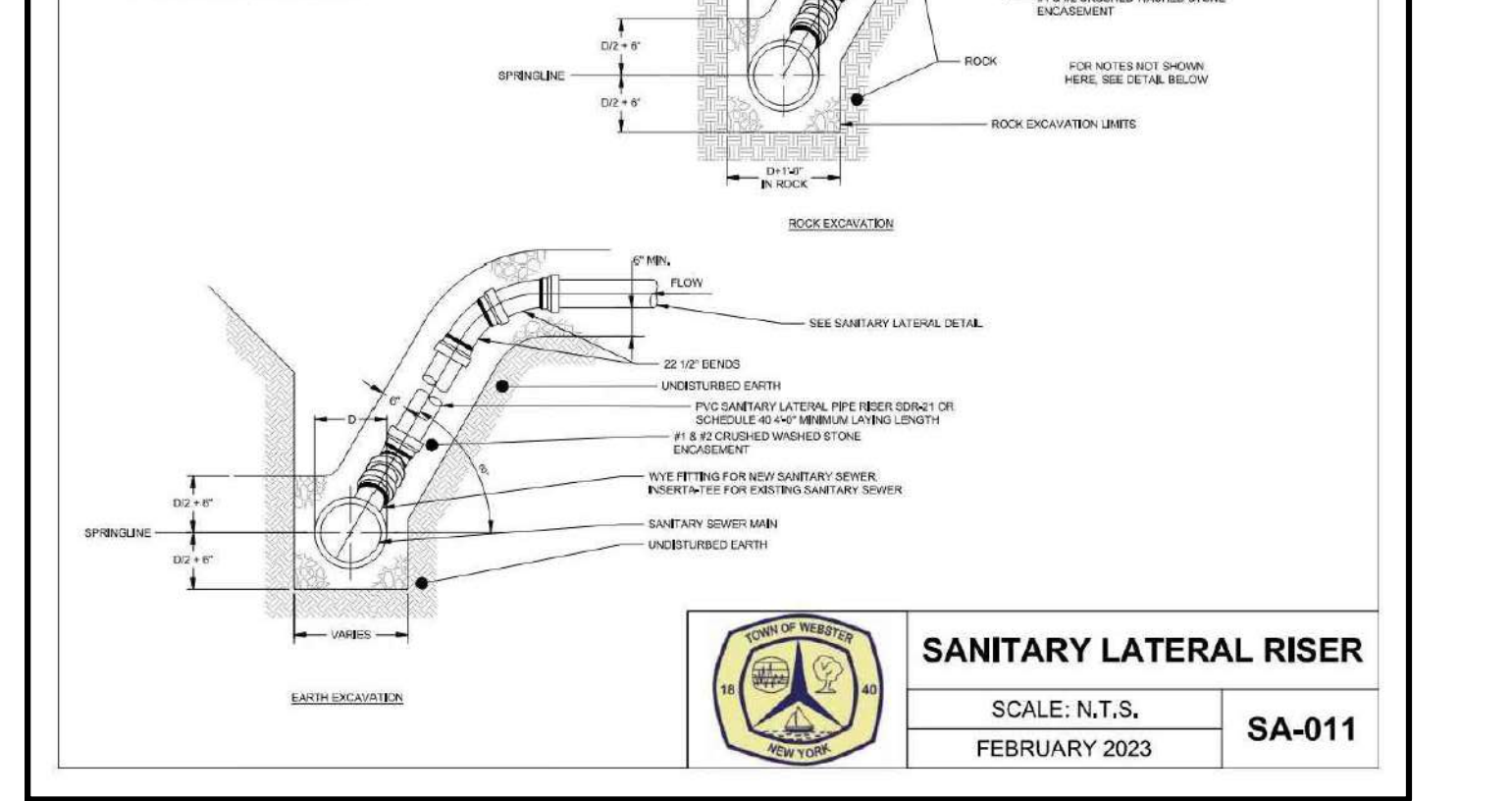
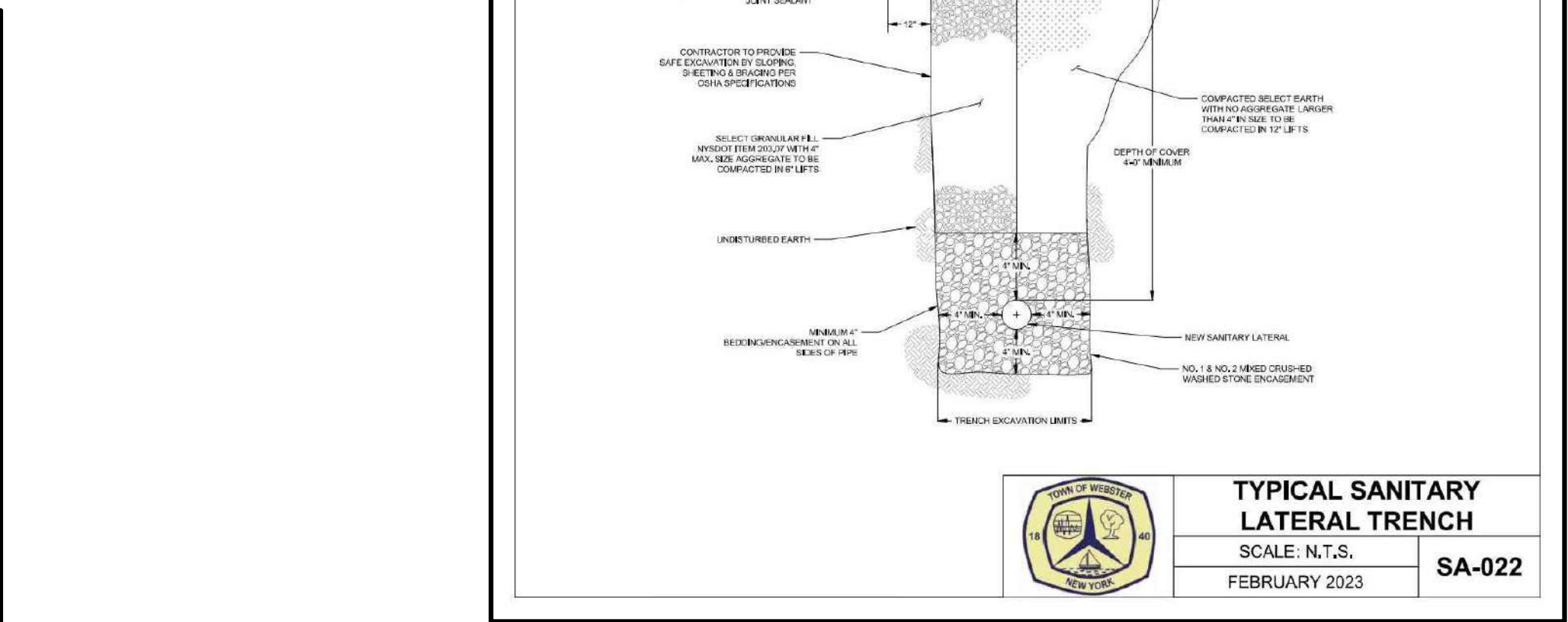
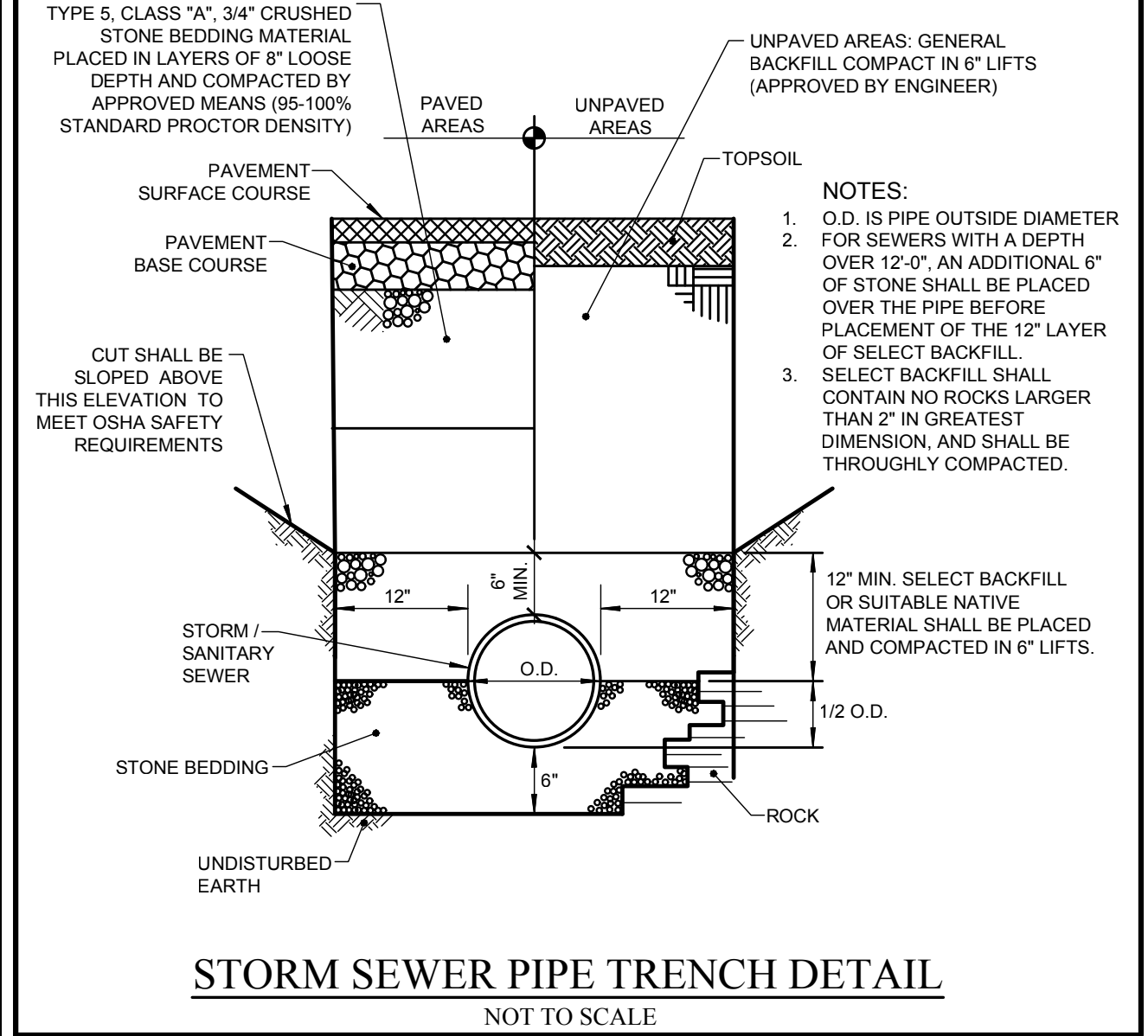
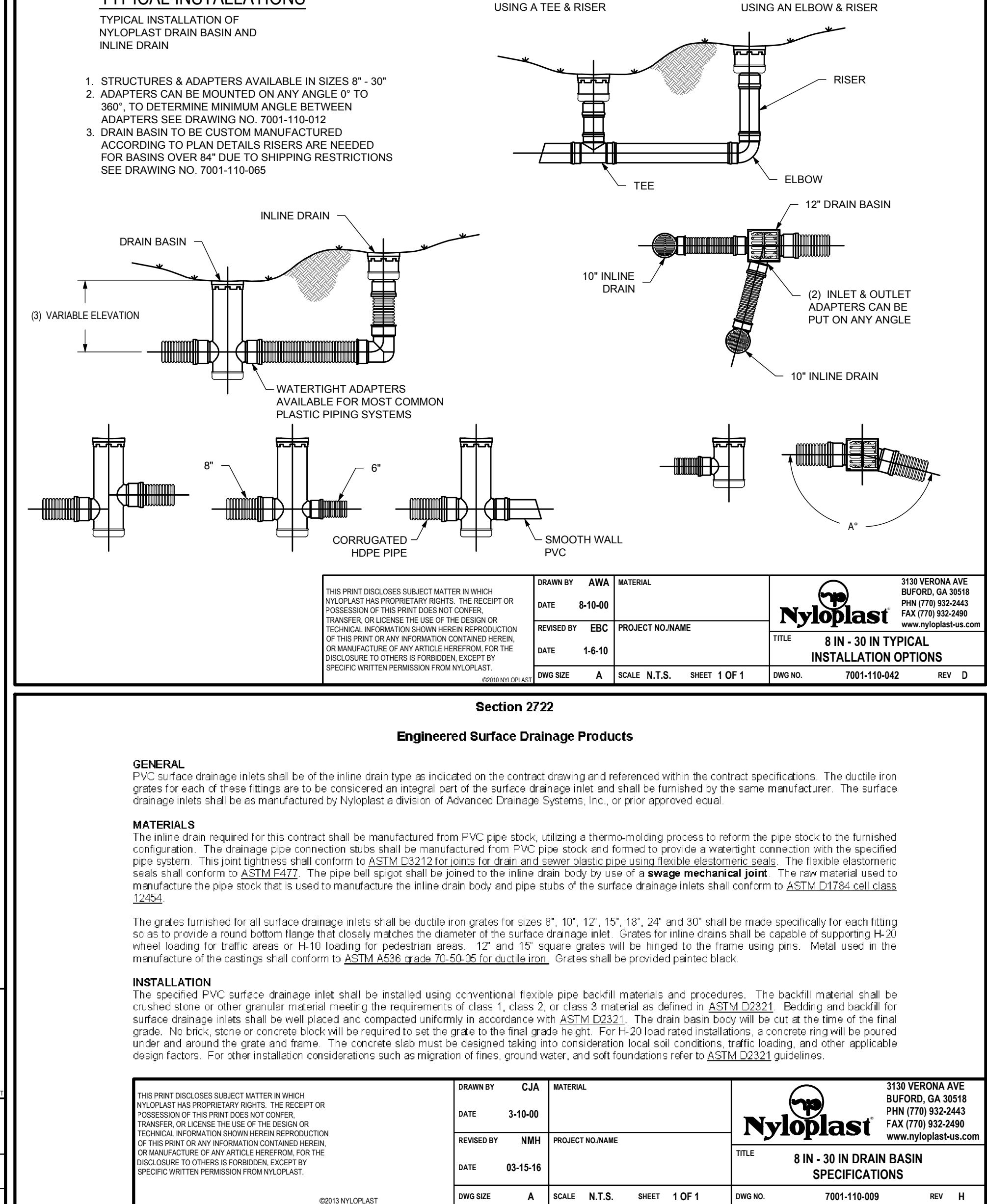
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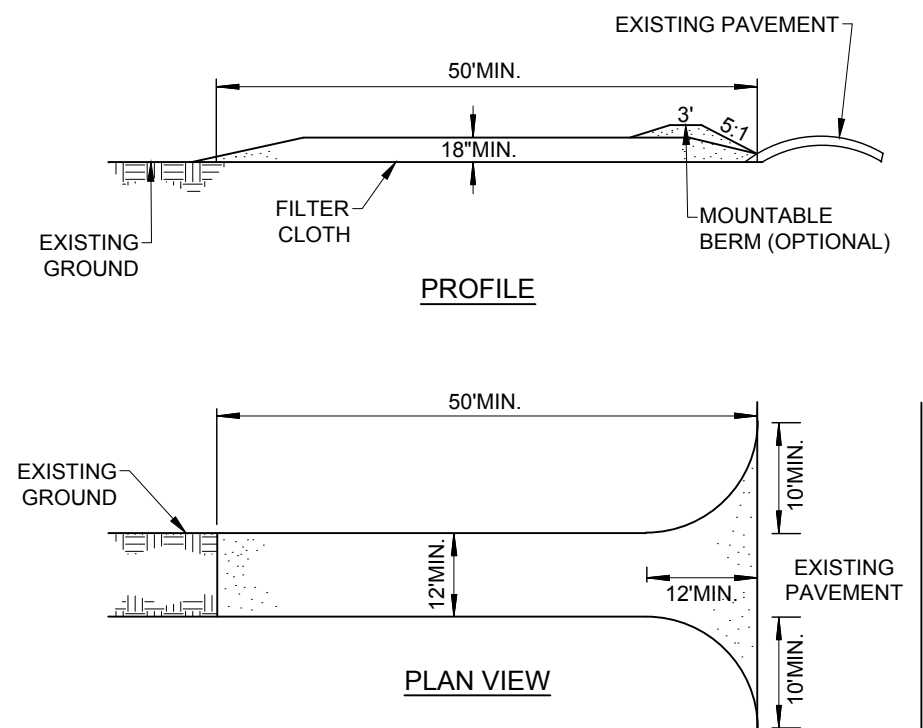
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

CLIENT QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG. # 8965
CA500
SHEET 9 OF 1



COPYRIGHT © 2023 COSTICH ENGINEERING, D.P.C.		PROJECT MANAGER E.R.G. DRAWN BY E.L.O.		<ul style="list-style-type: none"> • CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE 	TITLE OF PROJECT <div style="text-align: center;"> TAKE 5 OIL CHANGE 1045 RIDGE ROAD </div>
IF IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS AUTHORIZED BY THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY, THE LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.		BOUNDARY -- TOPOBASE --	DATE 04/12/2023 SCALE N.T.S.	217 LAKE AVENUE ROCHESTER, NY 14608 (585) 459-3020	TITLE OF DRAWING <div style="text-align: center;"> DETAIL SHEET </div>
			COSTICH ENGINEERING		LOCATION OF PROJECT TAX PARCEL NO. 079 15-1-8099 TOWN LOT 47, TOWNSHIP 13, RANGE 4, COUNTY OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK
					CLIENT QUATRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 600 OAKBROOK, ILLINOIS 60423
					DWS.# 8965 <div style="text-align: center;"> CASO2 SHEET 11 OF 13 </div>

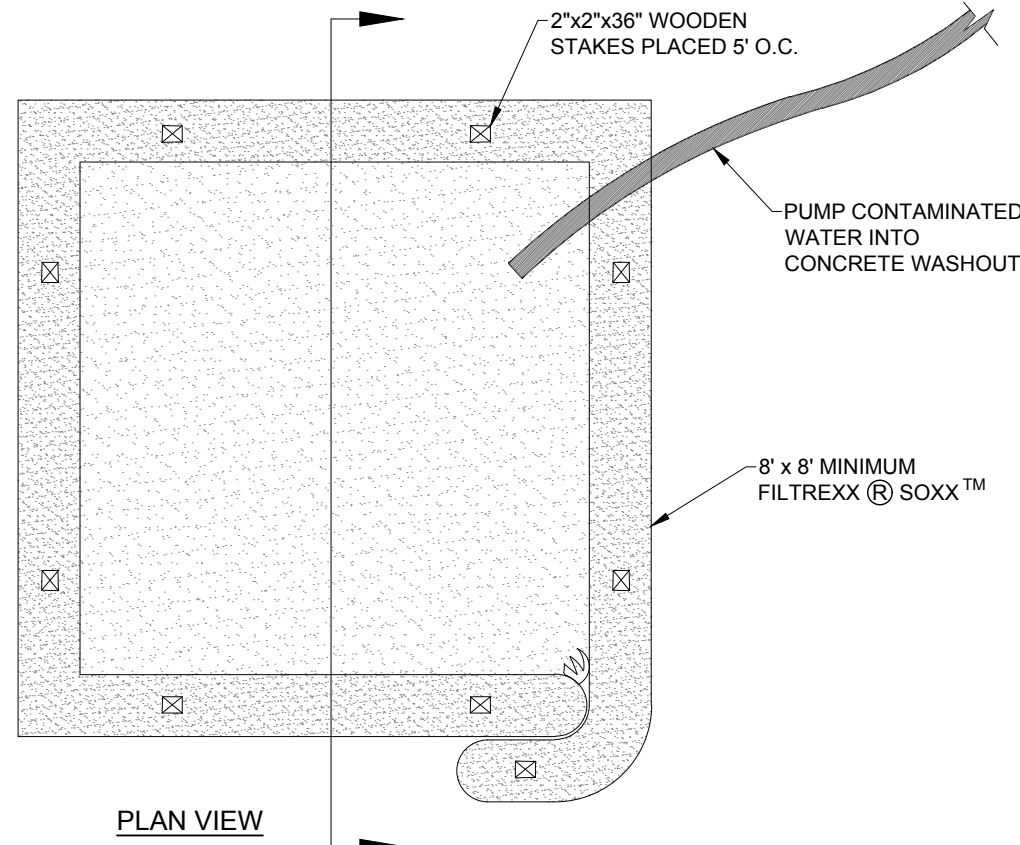


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN EIGHTEEN (18) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

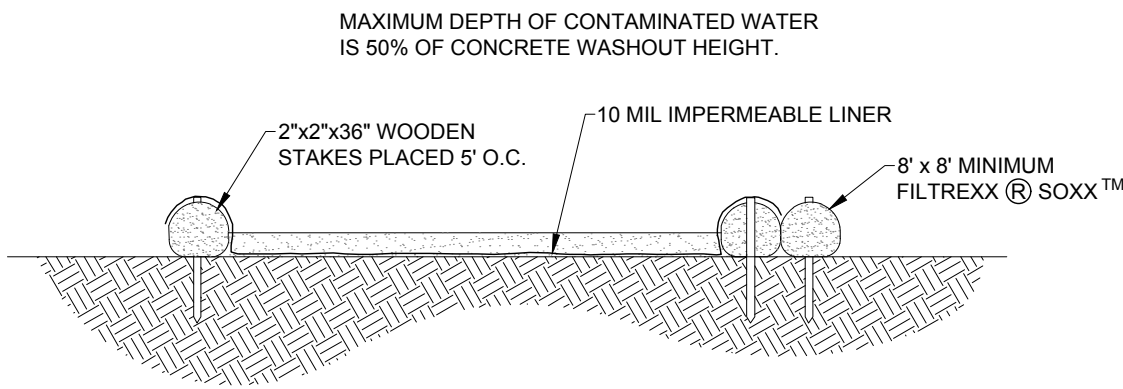
STABILIZED
CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:
FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE.

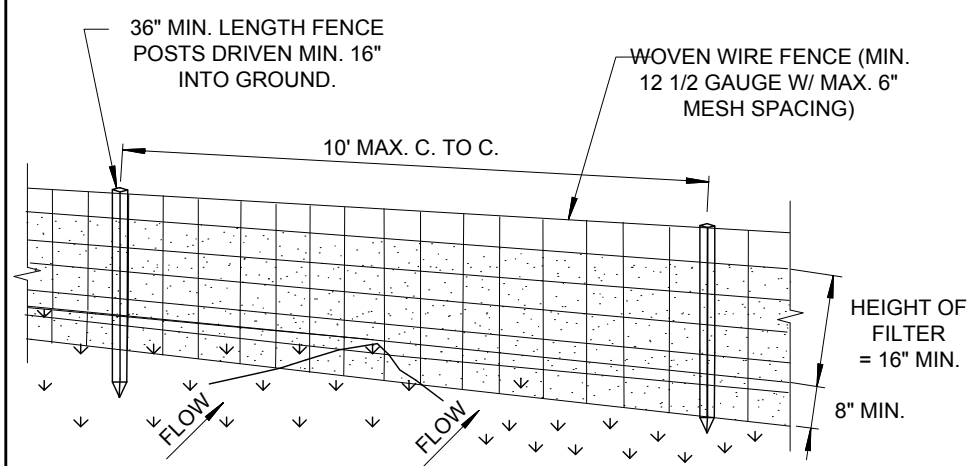
- UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
- CONCRETE WASHOUT SHALL BE LINED WITH 10 MIL. THICK PLASTIC WHICH COVERS THE BOTTOM OF THE WASHOUT AND EXTENDS OVER THE TOP OF THE SIDES.
- MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
- INSTALL ON FLAT GRADE NOT TO EXCEED 2%.
- CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
- CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
- THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED.
- MINIMUM DIMENSIONS TO BE 8' (L) x 8' (W) x 2' (H)
- LINER SHALL IS TO BE REPLACED EVERY TIME THE WASHOUT IS EMPTIED.
- WASHOUT TO BE LOCATED 100' (MIN.) FROM EXISTING AND PROPOSED DRAINAGE



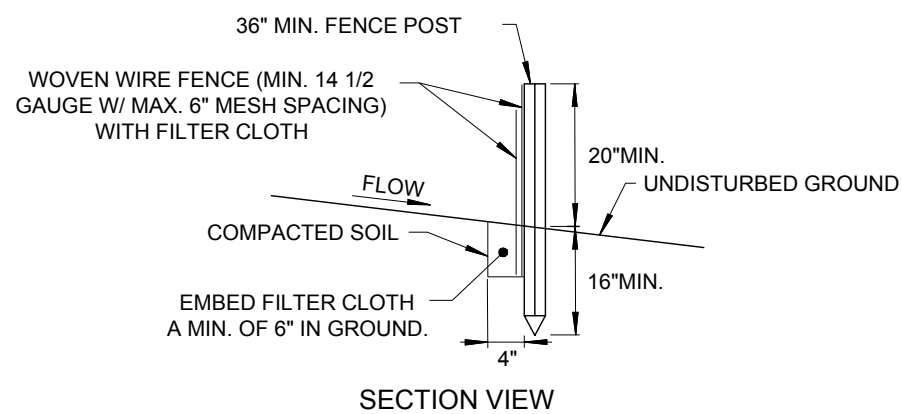
SECTION VIEW

CONCRETE WASHOUT

NOT TO SCALE



PERSPECTIVE VIEW



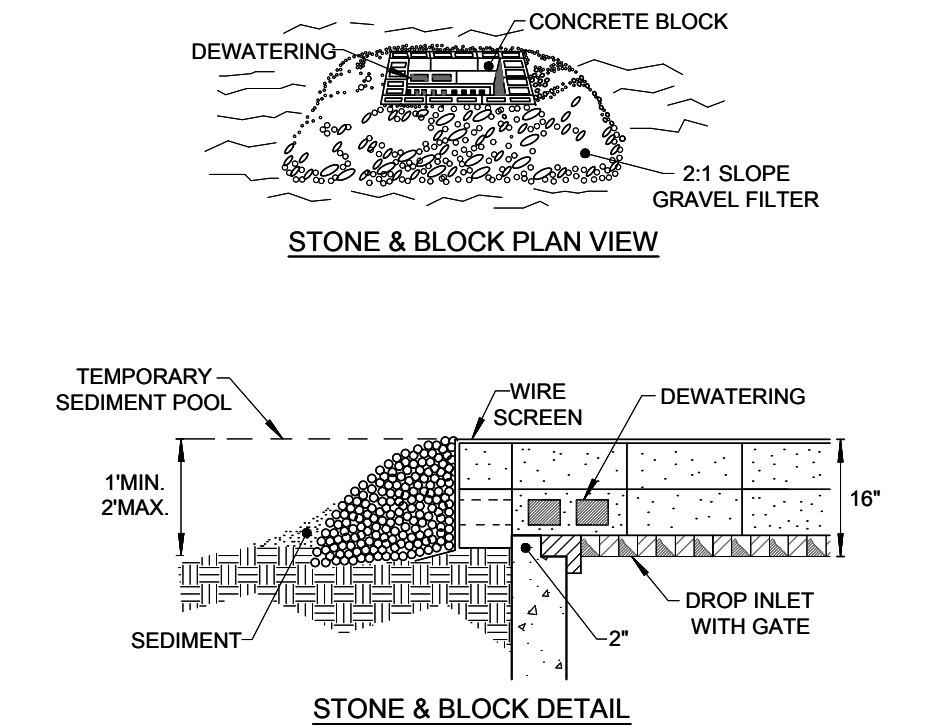
SECTION VIEW

CONSTRUCTION SPECIFICATIONS

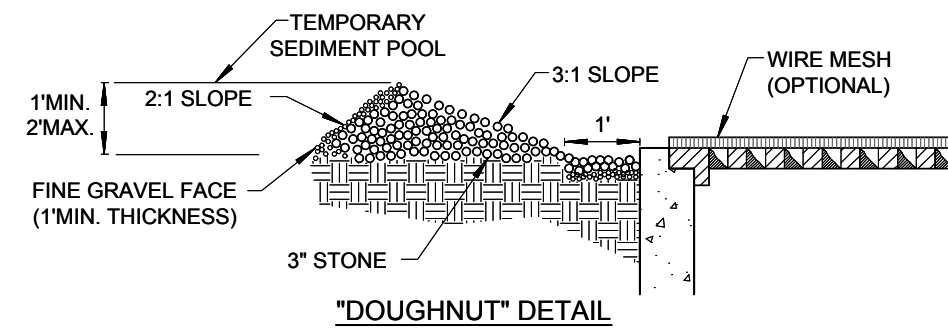
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

SILT FENCE DETAIL

NOT TO SCALE



STONE & BLOCK DETAIL



"DOUGHNUT" DETAIL

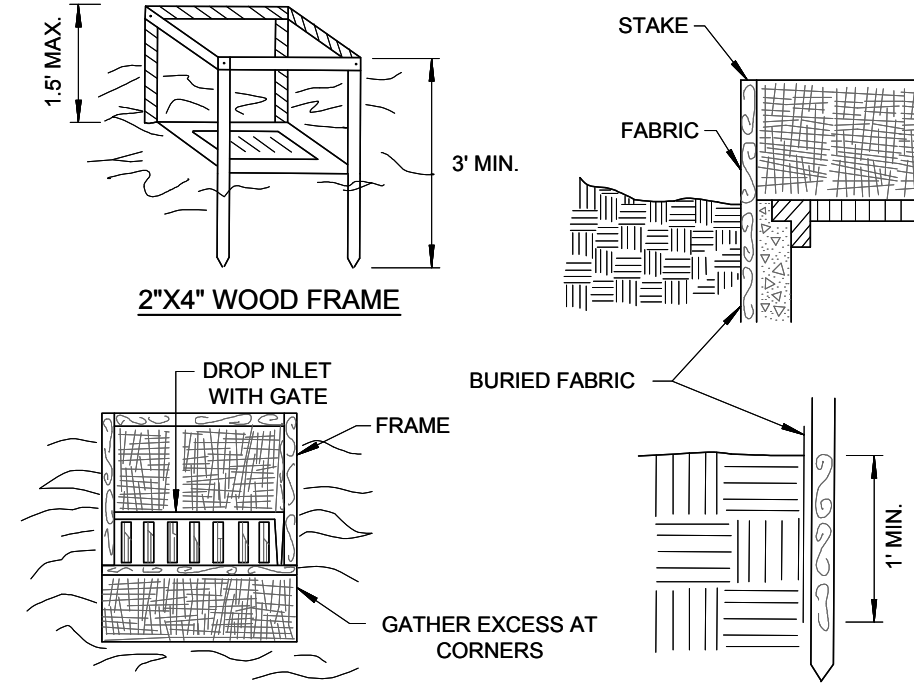
CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 12" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

STONE AND BLOCK DROP INLET
PROTECTION DETAIL

NOT TO SCALE



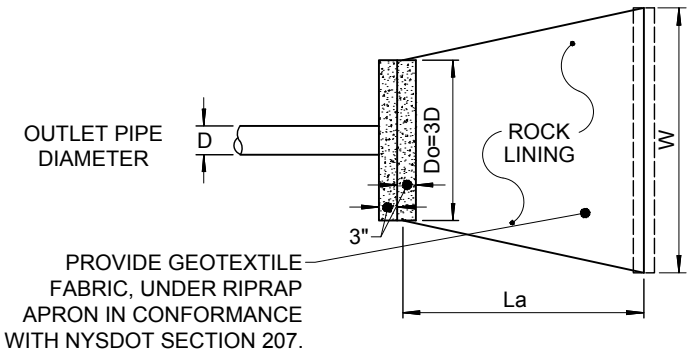
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

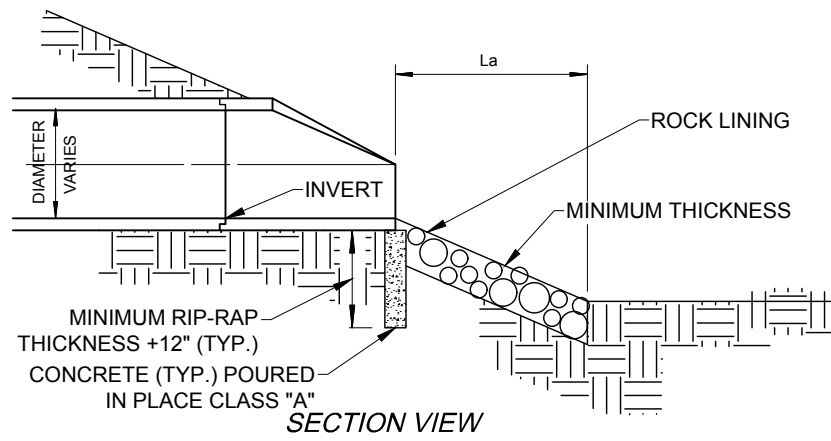
FILTER FABRIC DROP
INLET PROTECTION DETAIL

NOT TO SCALE



RIPRAP APRON GEOMETRICS

END SECTION RIPRAP APRON SCHEDULE					
PIPE DIAMETER D' (INCHES)	La' (FEET)	Do' (FEET)	W' (FEET)	MIN. THICKNESS (INCHES)	NYSDOT ITEM NO.
12	6.0	3.0	9.0	12	620.02
15	8.0	3.75	11.75	12	620.02
18	9.0	4.5	13.5	12	620.02
24	13.0	6.0	19.0	12	620.02
30	16.0	7.5	23.5	18	620.03
36	20.0	9.0	29.0	18	620.03
42	22.0	10.5	32.5	18	620.03
48	27.0	12.0	39.0	24	620.04
54	30.0	13.5	43.5	24	620.04
60	33.0	15.0	48.0	24	620.04



RIPRAP APRON DETAIL

NOT TO SCALE

1", 1-1/2" AND 2" WATER SERVICE LINE NOTES

- WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM THE FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE (a)	MATERIAL (b)	TYPE (c)
M.C.W.A. PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE R.O.W./PROPERTY/EASEMENT LINE	2"	TYPE "K" COPPER	DOMESTIC
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	2"	TYPE "K" COPPER	DOMESTIC

- (a) = MINIMUM SIZE IS 1-INCH.
(b) = ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "K" COPPER OR POLYETHYLENE PLASTIC (PE), #4710, SDR 9, ASTM 2737, NSF-PW, 250 PSI (CTS OD)
(c) = SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

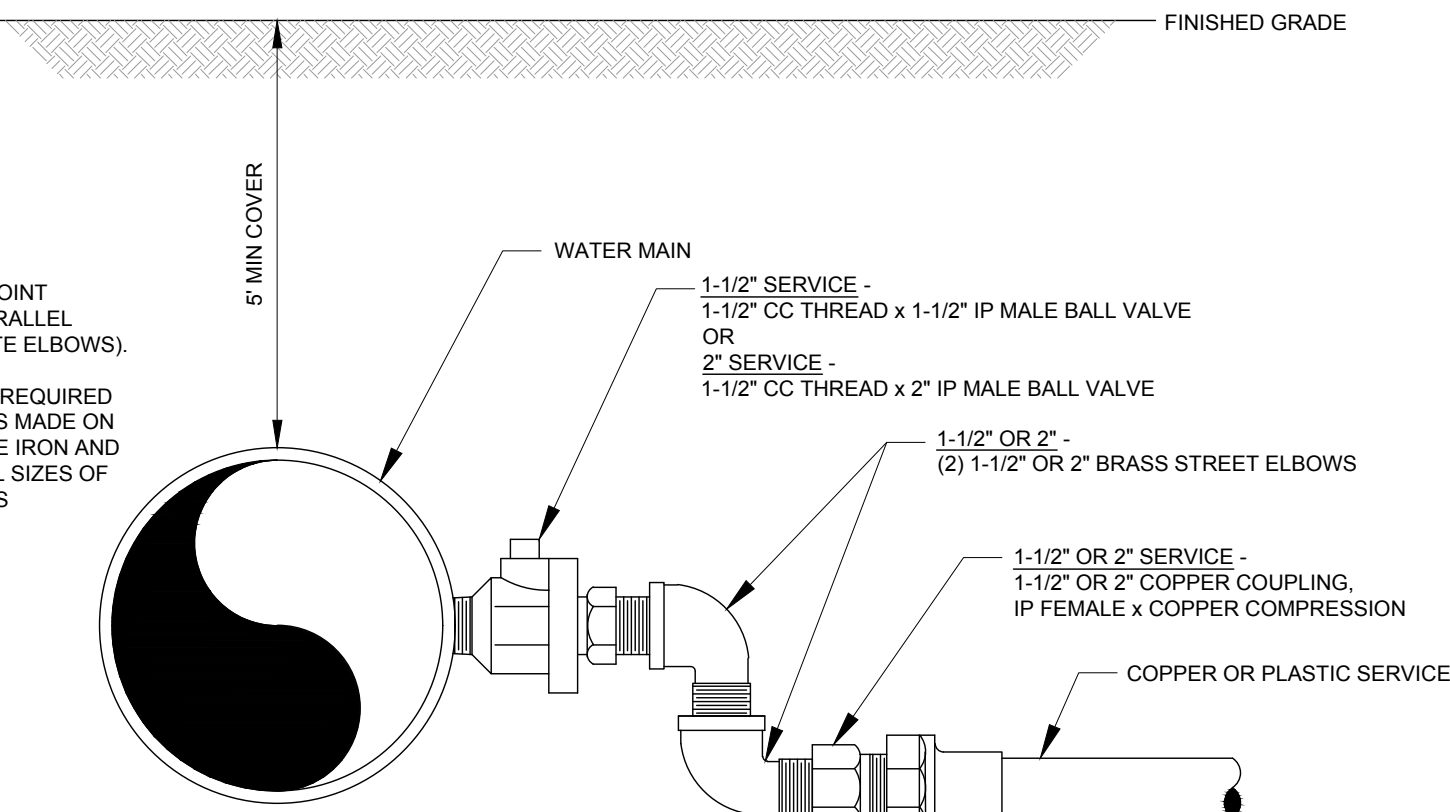
- THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.
- WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S) OR IN A METER TILE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METER. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.



NOTES:

- CORPORATION SWING JOINT ASSEMBLY INSTALLED PARALLEL WITH WATER MAIN (ROTATE ELBOWS).

- TAPPING SADDLES ARE REQUIRED FOR ALL 1-1/2" AND 2" TAPS MADE ON A 4" THROUGH 12" DUCTILE IRON AND CAST IRON MAINS AND ALL SIZES OF PVC AND ASBESTOS MAINS



1-1/2" AND 2" SERVICE INSTALLATION

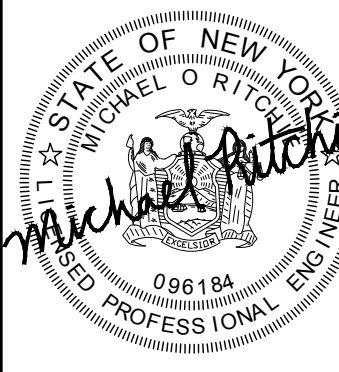
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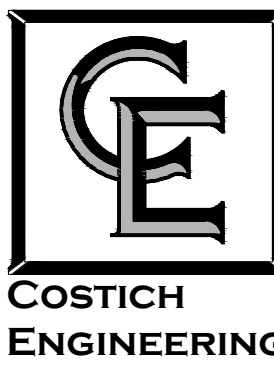
NO.	DATE	REVISION	BY	CHKD.	APVLS.
2	08/16/2023	REVISED PER MARK UPS	J.P.		
1	07/28/2023	REVISED PER MCWA COMMENTS DATED 7/17/2023	J.P.		

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PROJECT MANAGER E.R.G.
DRAWN BY E.L.O.
BOUNDARY --
TOPOBASE --
DATE 04/12/2023
SCALE N.T.S.



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT TAKE 5 OIL CHANGE 1045 RIDGE ROAD
TITLE OF DRAWING DETAIL SHEET
LOCATION OF PROJECT TAX PARCEL NO. 07915-1-6-009 TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT QUATTRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 140 OAKBROOK, ILLINOIS 60523
DWG. # 8965 CA504 SHEET 13 OF 13