

TAKE 5 OIL CHANGE

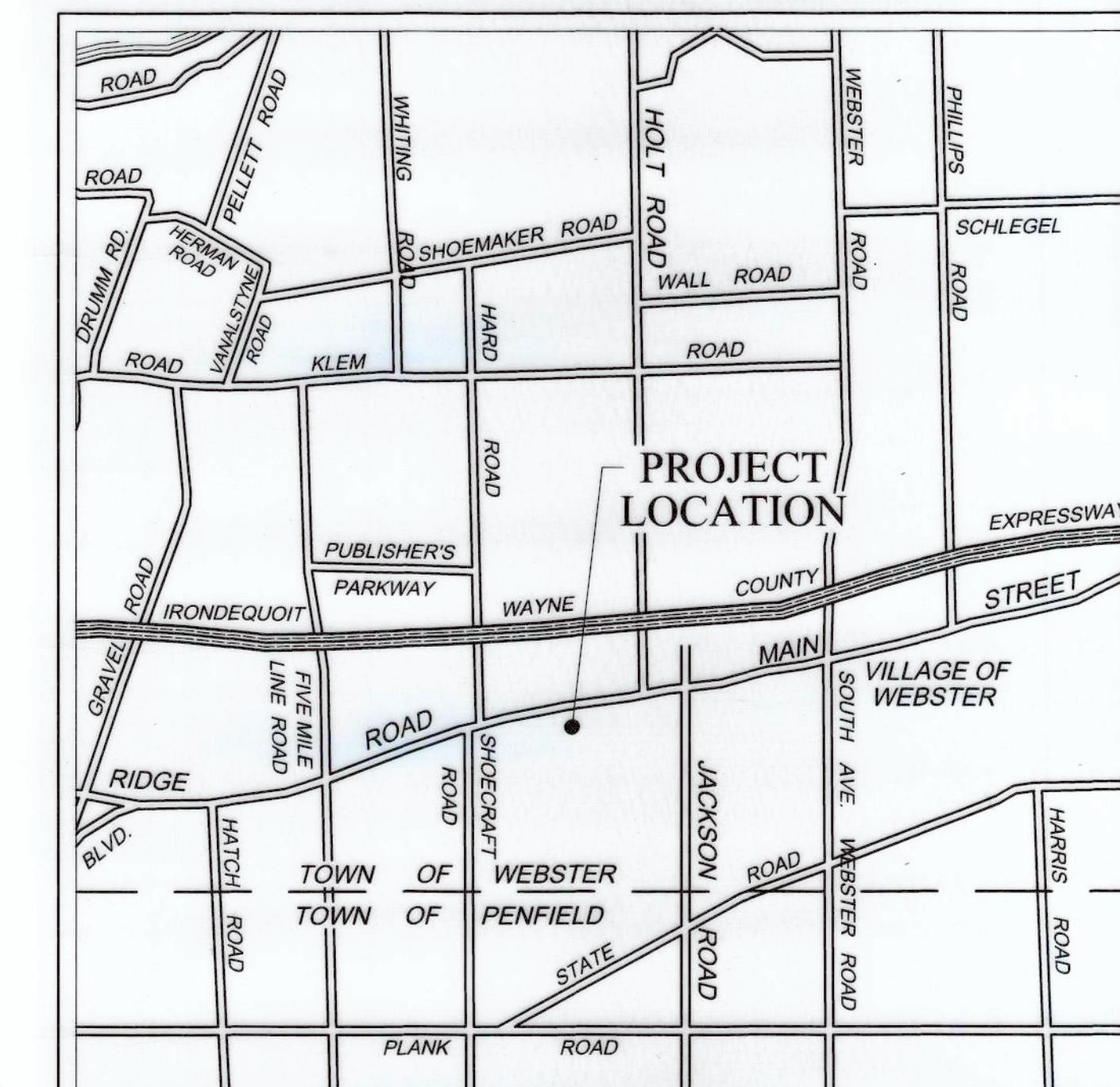
1045 RIDGE ROAD

SITE DEVELOPMENT PLANS

**TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK**

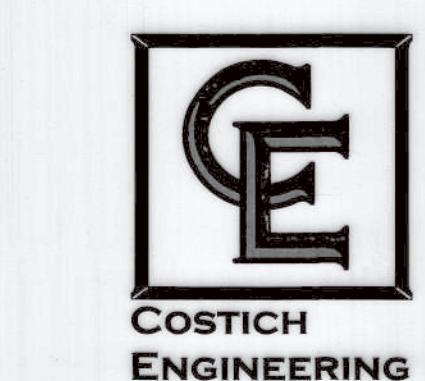
INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 OF 13)
GA002	GENERAL NOTES AND LEGENDS SHEET (SHEET 2 OF 13)
CA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 3 OF 13)
CA110	SITE AND PAVEMENT MARKING PLAN (SHEET 4 OF 13)
CA120	UTILITY PLAN (SHEET 5 OF 13)
CA130	GRADING AND EROSION CONTROL PLAN (SHEET 6 OF 13)
LA100	LANDSCAPE PLAN (SHEET 7 OF 13)
EA100	LIGHTING PLAN (SHEET 8 OF 13)
CA500	DETAIL SHEET (SHEET 9 OF 13)
CA501	DETAIL SHEET (SHEET 10 OF 13)
CA502	DETAIL SHEET (SHEET 11 OF 13)
CA503	DETAIL SHEET (SHEET 12 OF 13)
CA504	DETAIL SHEET (SHEET 13 OF 13)



LOCATION SKETCH

SCALE: 1"=1000'



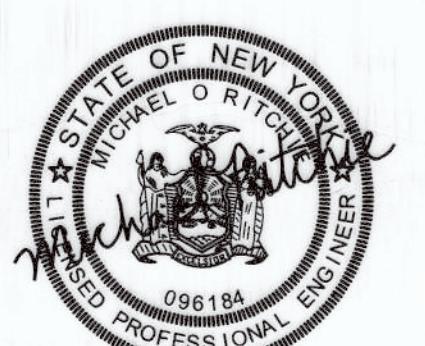
- CIVIL
ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

REVISED: 09/29/2023
DATE: **APRIL 12, 2023**

**TAKE 5 OIL CHANGE
1045 RIDGE ROAD
SITE DEVELOPMENT PLANS
TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK**

SITE DEVELOPMENT PLANS
PROJECT NO. 8965
SHEET NO. **GA001**
SHEET 1 OF 13



APPROVALS

By David Chayhild (mes gear) DATE: 10/13/23
TOWN ENGINEER

By Anthony Cacciani DATE: 10/27/23
PLANNING BOARD CHAIRPERSON

By N/A DATE: N/A
TOWN ASSESSOR

By Peter Steffens DATE: 10-24-2023
HIGHWAY SUPERINTENDENT

By John C. Miller DATE: 10-24-2023
WEBSTER SEWER DISTRICT

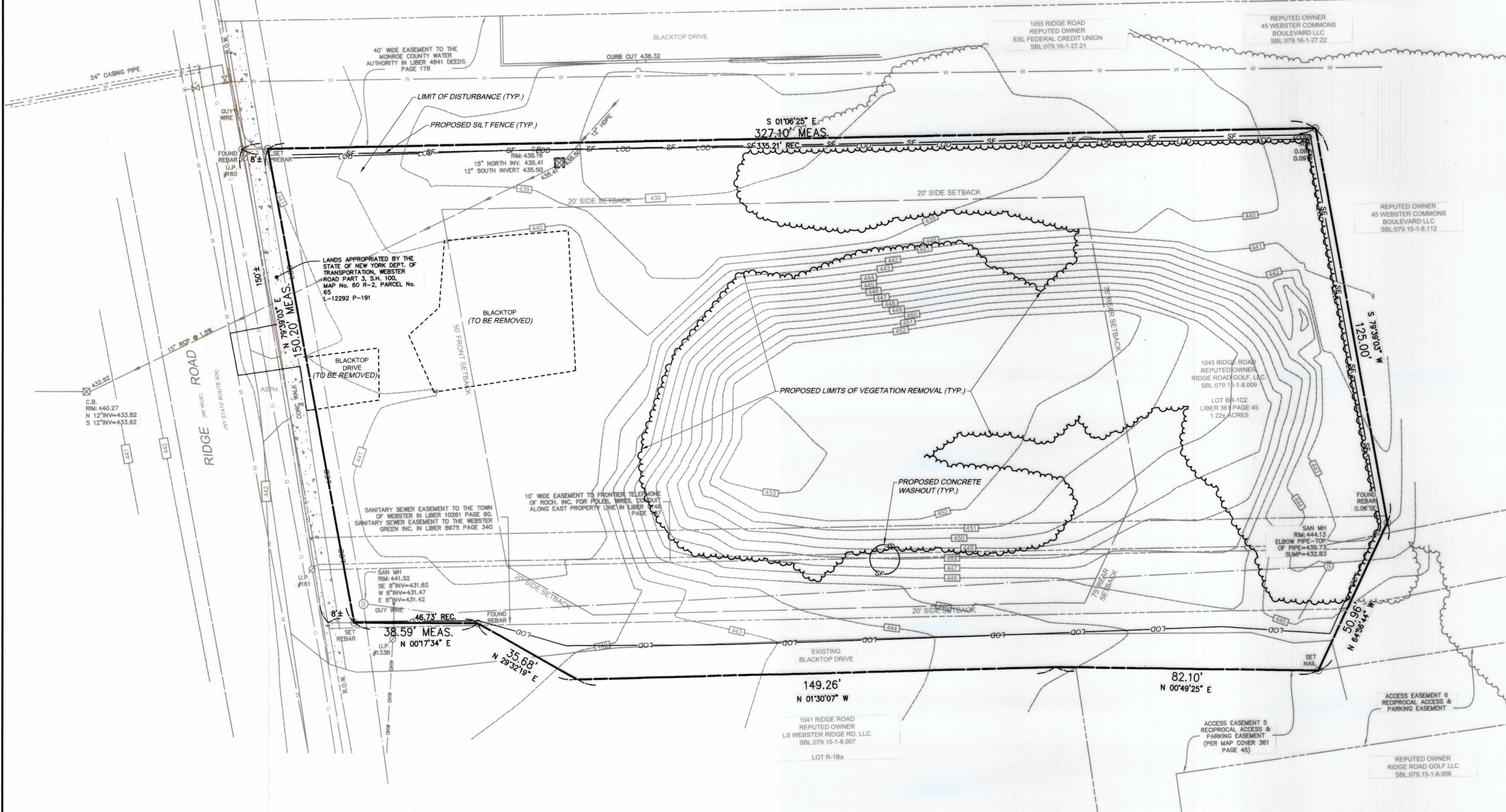
By John C. Miller DATE: 10/23/23
FIRE MARSHAL

By Bruce Schiano DATE: 10/23/23
DIRECTOR OF COMMUNITY DEVELOPMENT



LINE & SYMBOL LEGEND

	PARCEL BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	CENTER LINE
	EXISTING EASEMENT LINE.
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
	EXISTING UTILITY POLE , GUY ANCHOR & UTILITY POLE WITH LIGHT
	W EXISTING WATER MAIN, VALVE, & HYDRANT
	S EXISTING SANITARY SEWER, & MANHOLE
	D EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	OH EXISTING OVERHEAD UTILITIES
	T EXISTING TELEPHONE SERVICE
	UG EXISTING UNDERGROUND UTILITIES
	G EXISTING GAS SERVICE
	E EXISTING ELECTRIC SERVICE
	P EXISTING GUARD RAIL



AREA OF DISTURBANCE = 1.22 ACRES OR 53,143.2 S.F.

APPROVALS

BY: Paul Chitwood (mrs group) DATE: 10/13/23

BY: Carlene Casini DATE: 11/33/23

12/19/2023

TOWN ASSESSOR

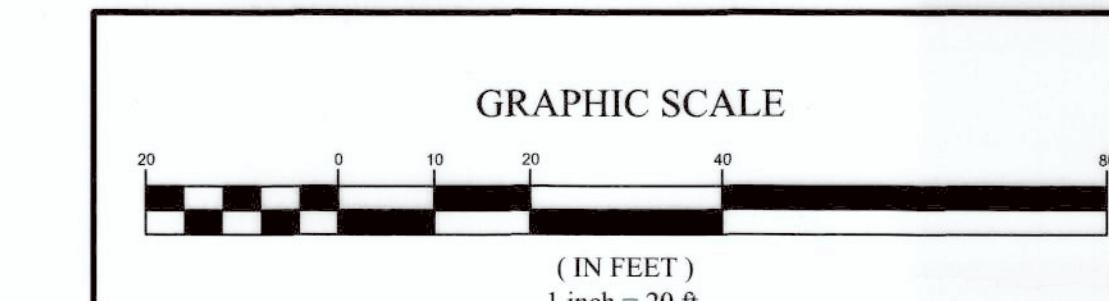
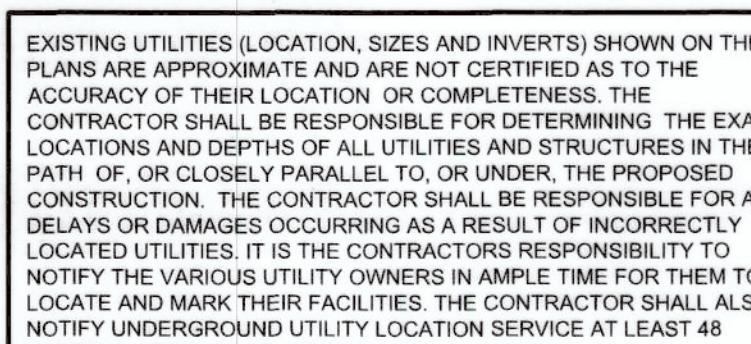
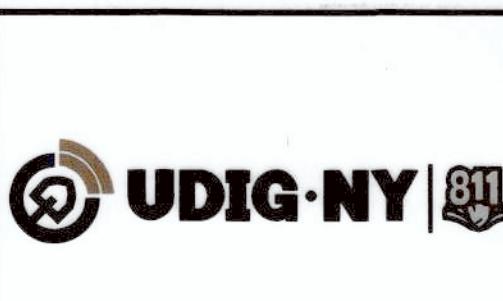
HIGHWAY SUPERINTENDENT

BY: _____ DATE: _____
WEBSTER SEWER DISTRICT

BY: C. J. L. DATE: 10/23/23
FIRE MARSHALL

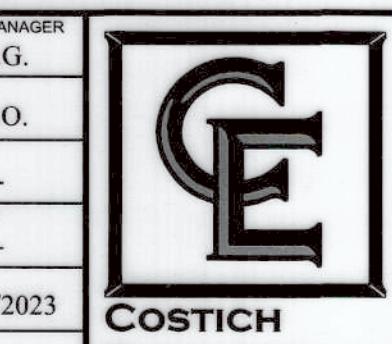
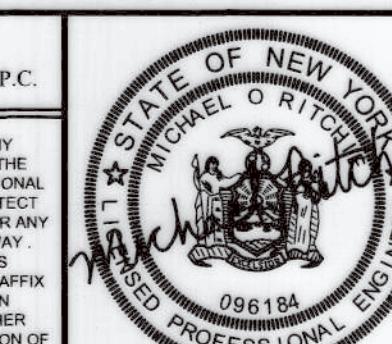
REFERENCES

1. MAP ENTITLED "ALTA / NSPS LAND TITLE SURVEY"
PREPARED NUSSBAUMER & CLARK, INC. BY, HAVING
A DRAWING NUMBER OF 22J2-1334, DATED 09/07/2022



**COPYRIGHT © 2023
COSTICH ENGINEERING, D.C.**

**IT IS A VIOLATION OF LAW FOR AN
INDIVIDUAL, UNLESS ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, LAND SURVEYOR, ARCHITECT
OR LANDSCAPE ARCHITECT, TO ALTER
ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS
DOCUMENT IS REQUIRED BY LAW TO
SIGN IT WITH HIS/HER SEAL AND THE NOTATION
"ALTERED BY", FOLLOWED BY HIS/HER
SIGNATURE AND SPECIFIC DESCRIPTION**



<ul style="list-style-type: none"> • CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE <p>217 LAKE AVENUE ROCHESTER, NY 14608</p>	TITLE OF PROJECT	TAKE 5 OIL CHANGE 1045 RIDGE ROAD
	TITLE OF DRAWING	EXISTING FEATURES & DEMOLITION PLAN
	LOCATION OF PROJECT	TAX PARCEL NO. 079.15-1-8.009 TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT	QUATTRO DEVELOPMENT LLC 116 JORIE BLVD SUITE 140	DWG. # 8965 CA 100

NORTH
N

APPROVALS
By: *Paul Collier (mer Group)* DATE: 10/13/23
TOWN ENGINEER

By: *Anthony Cacciani* DATE: 10/20/23
PLANNING BOARD CHAIRPERSON

By: *Diane M. Komor, IAO* DATE: 10/19/2023
TOWN ASSESSOR

By: *Highway Superintendent* DATE: *10/24/23*

By: *Webster Sewer District* DATE: *10/24/23*

By: *Fire Marshal* DATE: *10/23/23*

By: *Director of Community Development* DATE: *10/23/23*

SITE LINE LEGEND

PARCEL BOUNDARY
EXISTING RIGHT-OF-WAY LINE
EXISTING ADJACENT PROPERTY LINE
MIN. BUILDING SETBACK
CENTER LINE
EXISTING EASEMENT LINE
EXISTING CONCRETE CURB
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL
EXISTING CONC. PAD/CONC. SIDEWALK
EXISTING GUARD RAIL
EXISTING TREES, HEDGE, EDGE OF WOODS
EXISTING STOCKADE & CHAIN LINK FENCE
EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
PROPOSED EDGE OF PAVEMENT
PROPOSED CONCRETE CURB
PROPOSED BUILDING
PROPOSED SIDEWALK

SITE DATA

1045 RIDGE ROAD
TAX PARCEL NO. 079.15-1-8.009
TOTAL PARCEL AREA: 1.22s ACRES (53,101.74 S.F.)

1. ZONING: MEDIUM-INTENSITY COMMERCIAL DISTRICT (MC)

2. PROPOSED BUILDING S.F. AREA: 1,610 S.F. ±

3. DISTRICT REGULATIONS:

REQUIREMENTS	REQUIRED	PROPOSED
FRONT	50'	70.4'
SIDE	20'	50.8'
REAR	75'	188.9'
LOT COVERAGE (MAX.)	20%	3%
BUILDING HEIGHT (MAX.)	35'	<35'

4. PARKING SPACE REQUIREMENT:

MOTOR VEHICLE SERVICE STATION = 3 SPACES PER SERVICE BAY (3X3 = 9 SPACES)

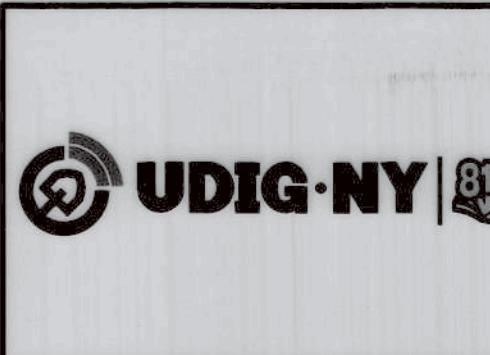
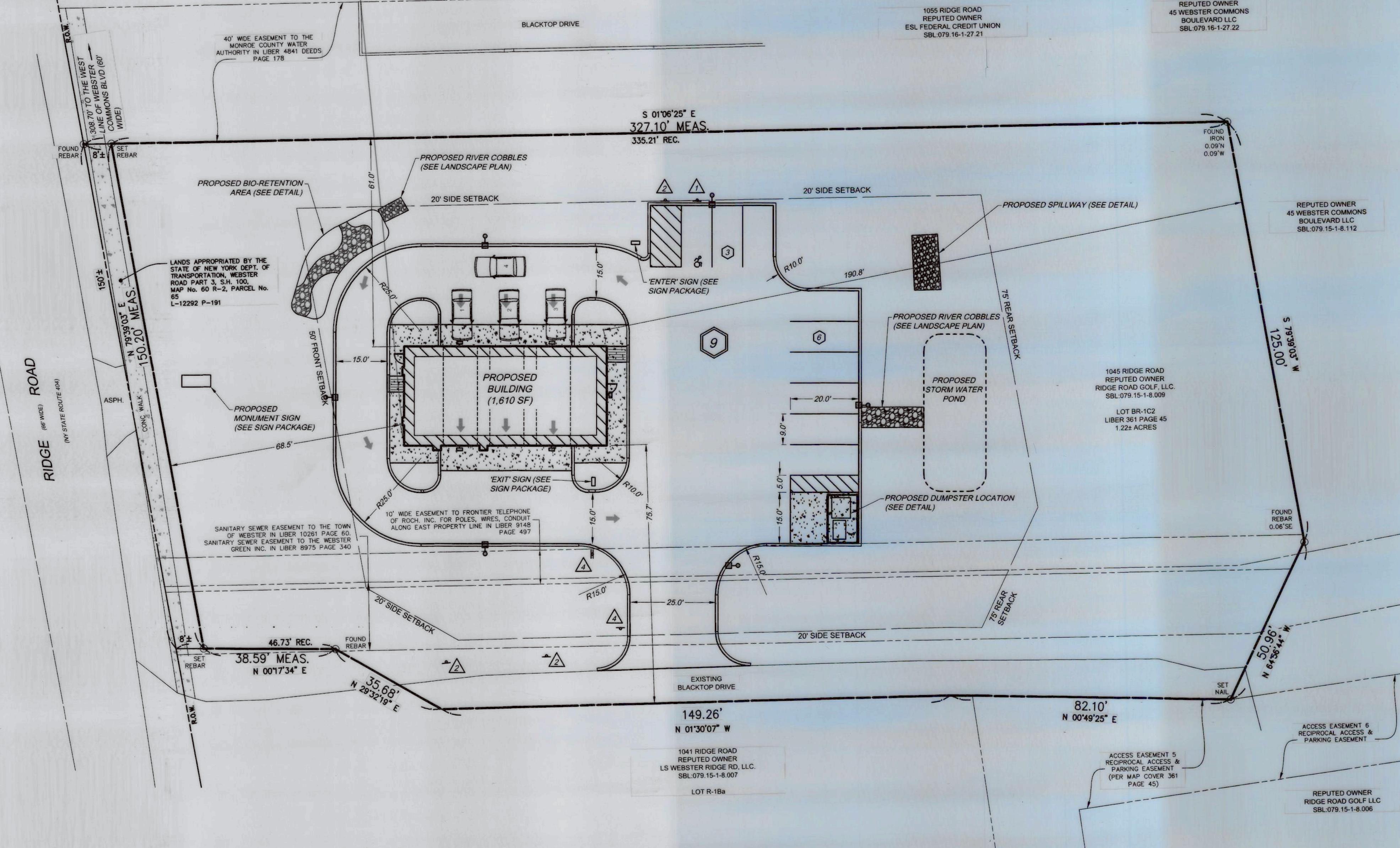
TOTAL PARKING REQUIRED = 9 PARKING SPACES

PARKING PROVIDED:

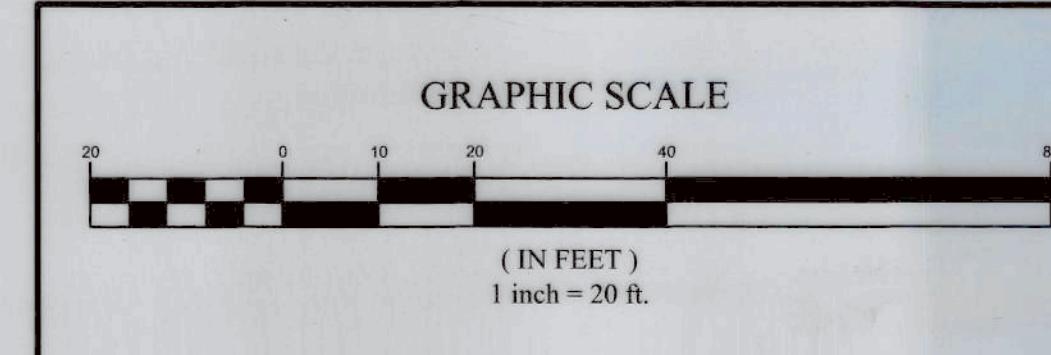
ADA/ACCESSIBLE 1 SPACES
TOTAL PARKING SPACES 9 SPACES

AREA OF DISTURBANCE = 1.22 ACRES OR 53,143.2 S.F.

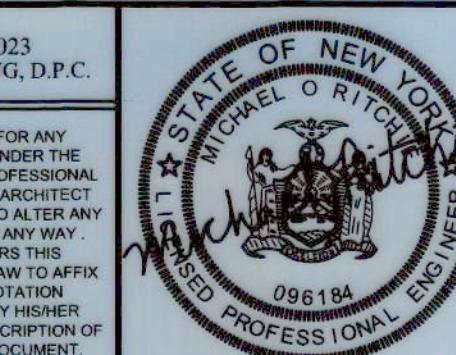
SIGN LEGEND						
SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
	RESERVED PARKING	NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"	1
	NO PARKING ANY TIME	R7-1	12"x18" RED ON WHITE	"C"	7'-0"	3
	VAN ACCESSIBLE	R7-8B	12"x6" WHITE ON BLUE	"C"	7'-0"	1
	STOP	RI-C	30"x30" OCTAGONAL WHITE ON RED	"A"	7'-0"	2



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMple TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

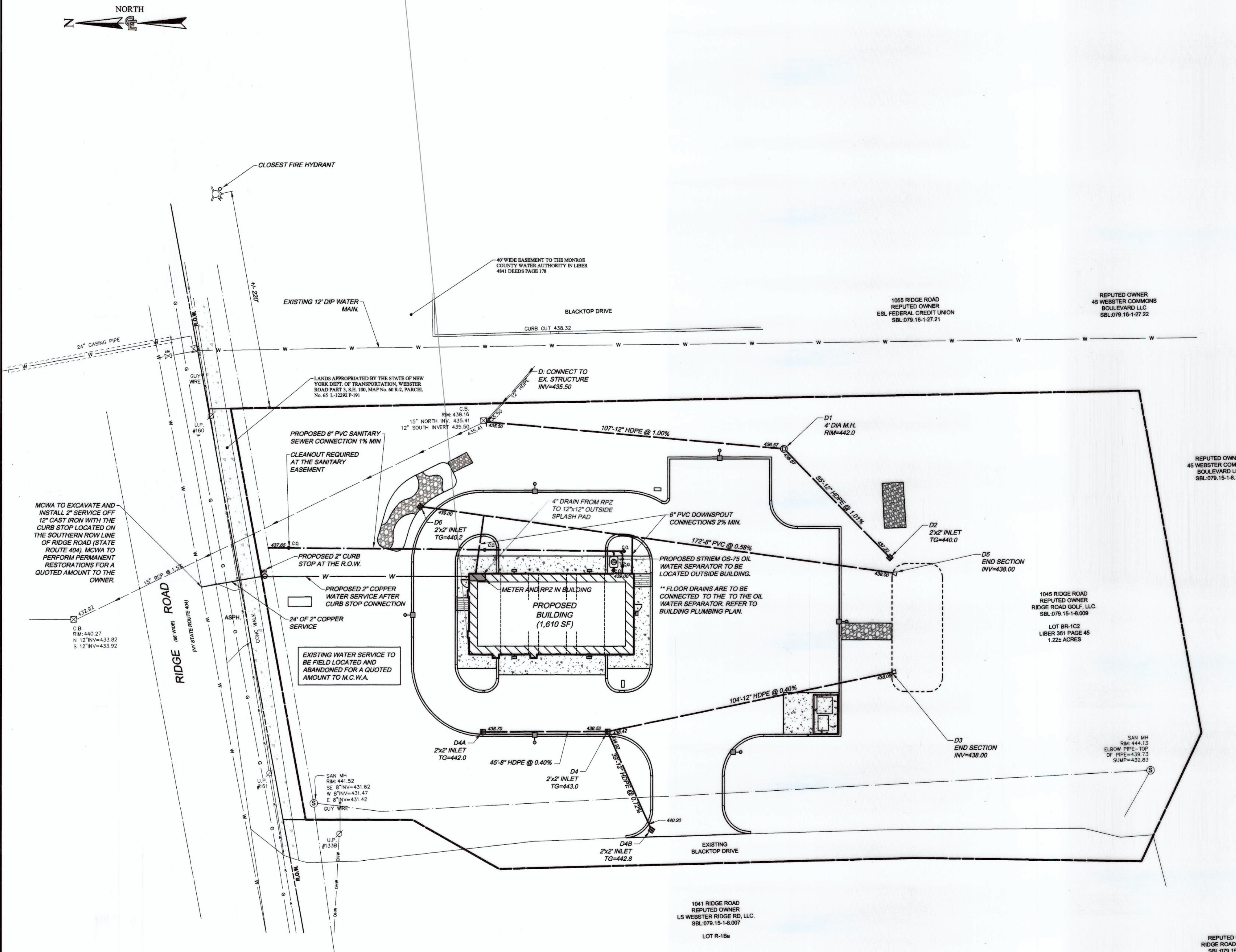
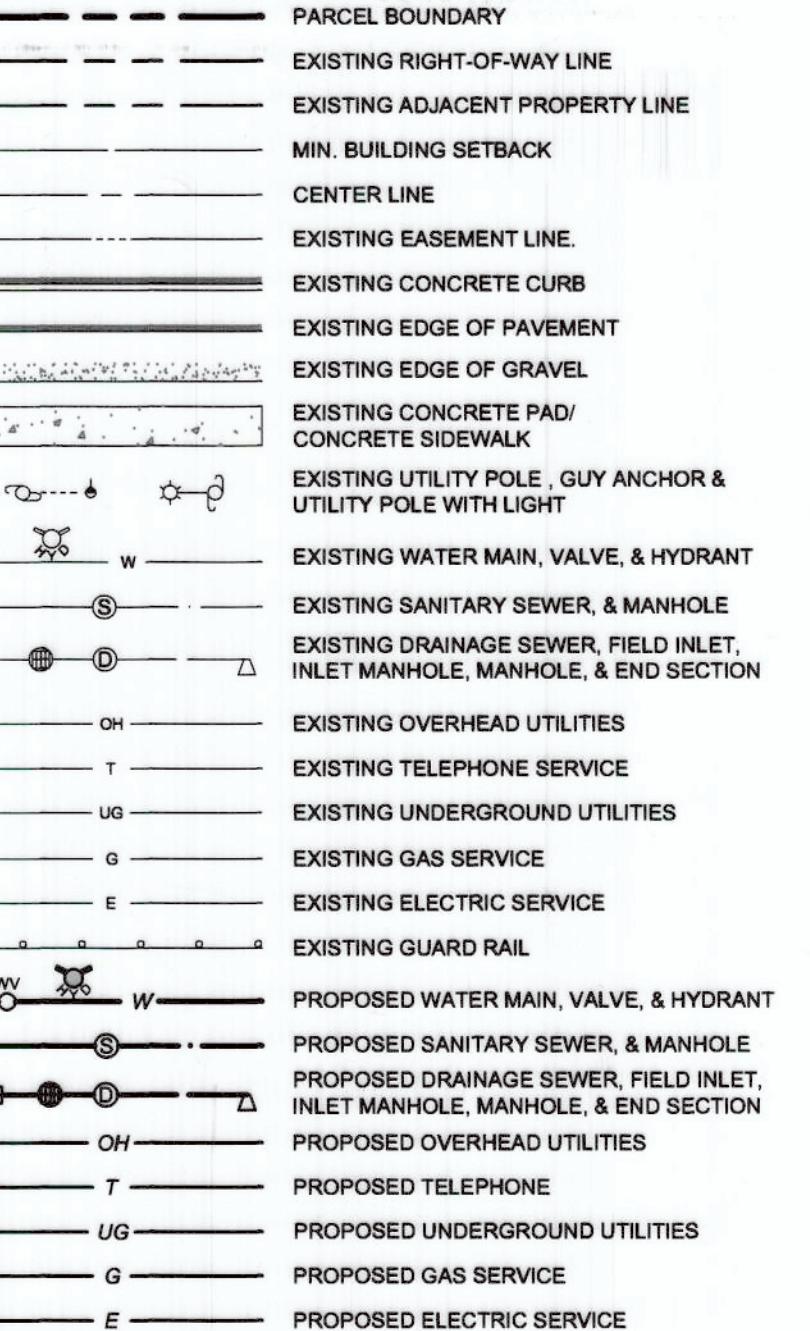


COSTICH ENGINEERING, D.P.C.					
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR PLANNER, TO ALTER, REMOVE, OR DESTROY ANY ITEM ON THIS DOCUMENT IN ANY WAY.					
ANY LICENSEE WHO ALTERS THIS DOCUMENT MUST INCLUDE THE APPROPRIATE HIGHLIGHTED SIGNATURE AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND BRIEF DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.					
PROJECT MANAGER E.R.G. DRAWN BY E.L.O. BOUNDARY --- TOPO/BASE --- DATE 04/12/2023 SCALE 1"-20'					
NO. 096184 04/12/2023 E.R.G. J.P. BY CHKD. APVS.					



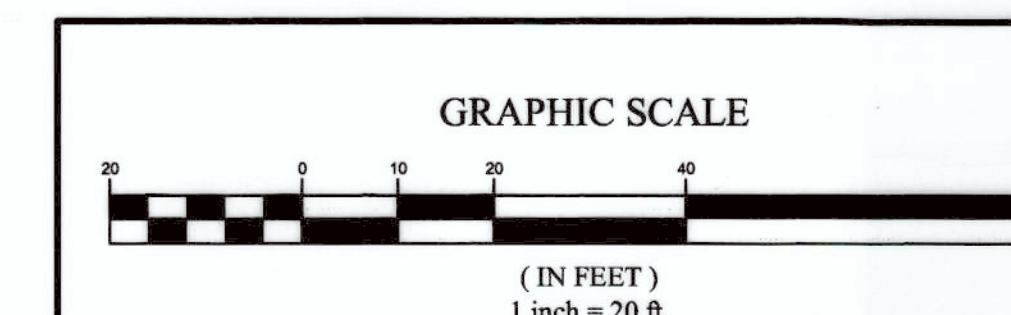
TITLE OF PROJECT: TAKE 5 OIL CHANGE
1045 RIDGE ROAD
TITLE OF DRAWING: SITE PLAN
LOCATION OF PROJECT: TAX PARCEL NO. 079.15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER,
COUNTY OF MONROE, STATE OF NEW YORK
CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
ROCHESTER, NY 14608
(585) 458-3020
DWG # 8965
SHEET 4 OF 13

UTILITY LINE LEGEND

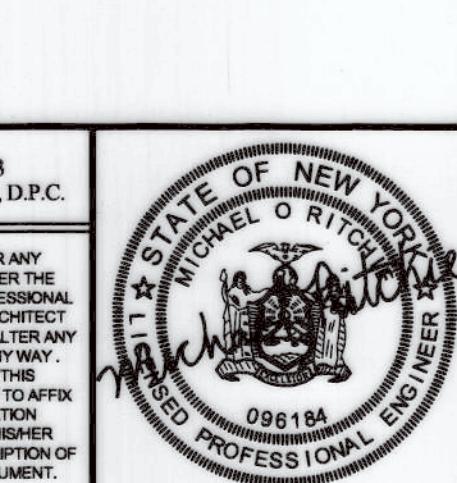


The logo for UDIG-NY. It features a stylized 'U' and 'D' icon on the left, followed by the text 'UDIG-NY' in a bold, sans-serif font. A vertical line separates 'UDIG-NY' from a small shield icon on the right. The shield contains the number '811'.

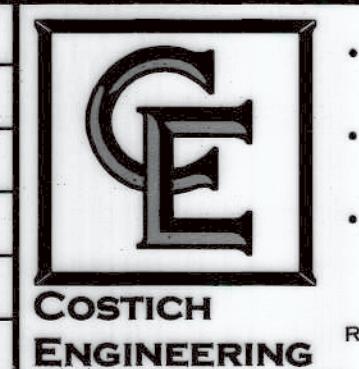
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD	APVLS
5	10/11/2023	REVISED PER TOWN SEWER COMMENTS	W.T.A.	E.R.G.	
4	08/25/2023	REVISED PER TOWN SEWER COMMENTS	W.T.A.	E.R.G.	
3	08/16/2023	REVISED PER MARK-UPS	J.P.		
2	07/31/2023	REVISED PER MCWA COMMENTS DATED 7/31/2023	J.P.		
1	07/28/2023	REVISED PER MCWA COMMENTS DATED 7/17/2023	J.P.		



**COPYRIGHT © 2023
COSTICH ENGINEERING,**

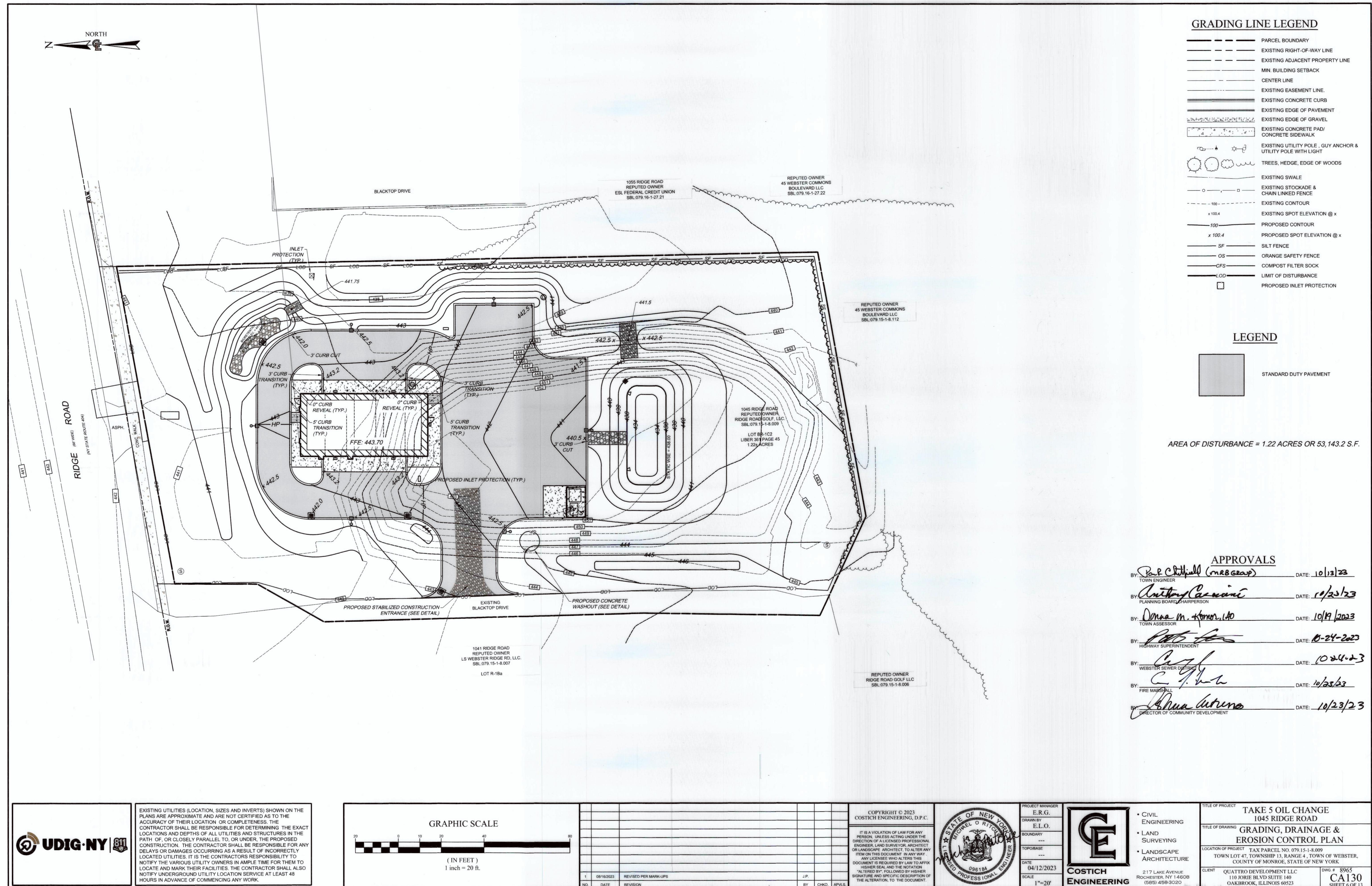


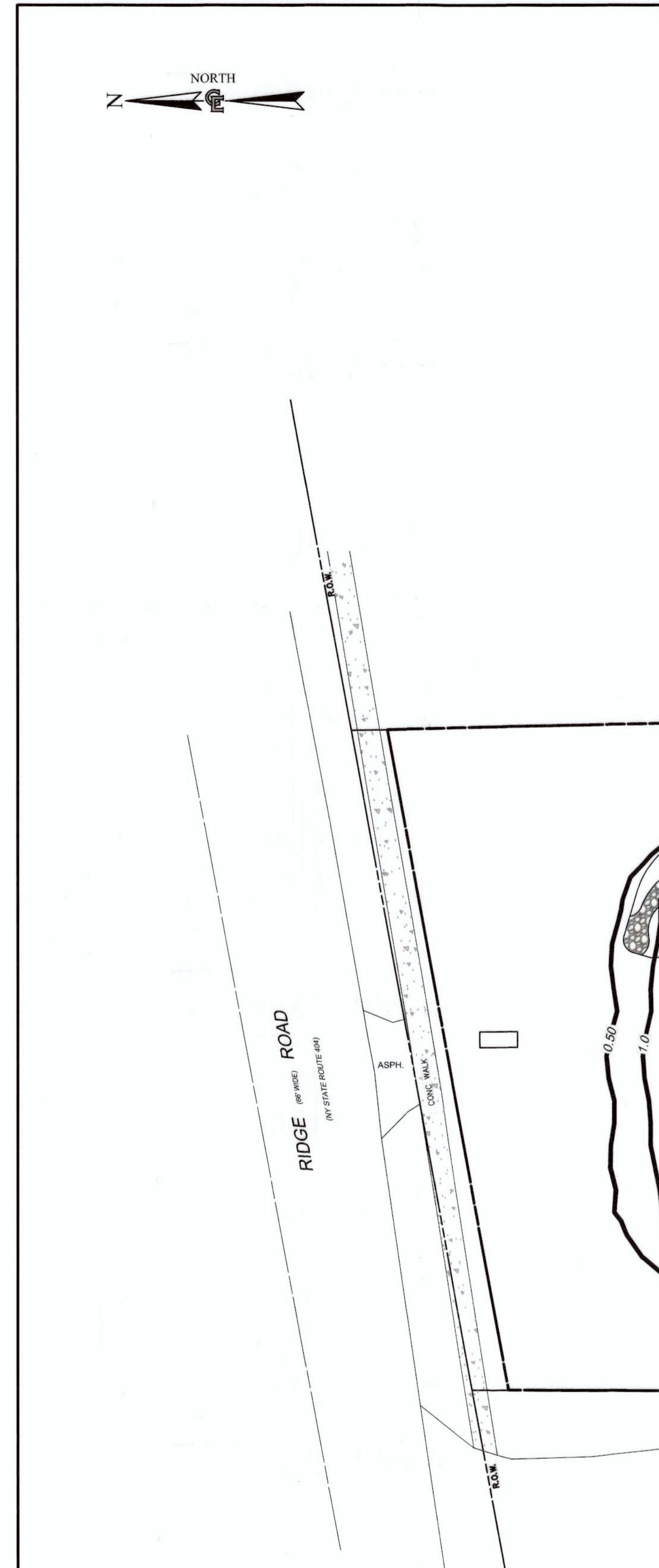
CIVIL
ENGINEERING
AND
SURVEYING
LANDSCAPE
ARCHITECTURE

PROJECT TAKE 5 OIL CHANGE
1045 RIDGE ROAD

DRAWING

UTILITY PLAN



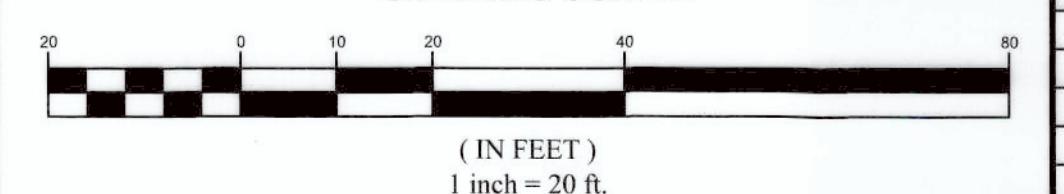


LINE & SYMBOL LEGEND

—	PARCEL BOUNDARY
—	EXISTING RIGHT-OF-WAY LINE
—	EXISTING ADJACENT PROPERTY LINE
—	EXISTING CENTER LINE
—	EXISTING CONCRETE CURB
—	EXISTING EDGE OF PAVEMENT
—	EXISTING EDGE OF GRAVEL
—	EXISTING CONCRETE PAD/CONCRETE SIDEWALK
—	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
—	EXISTING WATER MAIN, VALVE, & HYDRANT
—	EXISTING SANITARY SEWER, & MANHOLE
—	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
—	EXISTING OVERHEAD UTILITIES
—	EXISTING TELEPHONE SERVICE
—	EXISTING UNDERGROUND UTILITIES
—	EXISTING GAS SERVICE
—	EXISTING ELECTRIC SERVICE
—	EXISTING GUARD RAIL
—	PROPOSED WATER MAIN, VALVE, & HYDRANT
—	PROPOSED SANITARY SEWER, & MANHOLE
—	PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION

BLACKTOP DRIVE

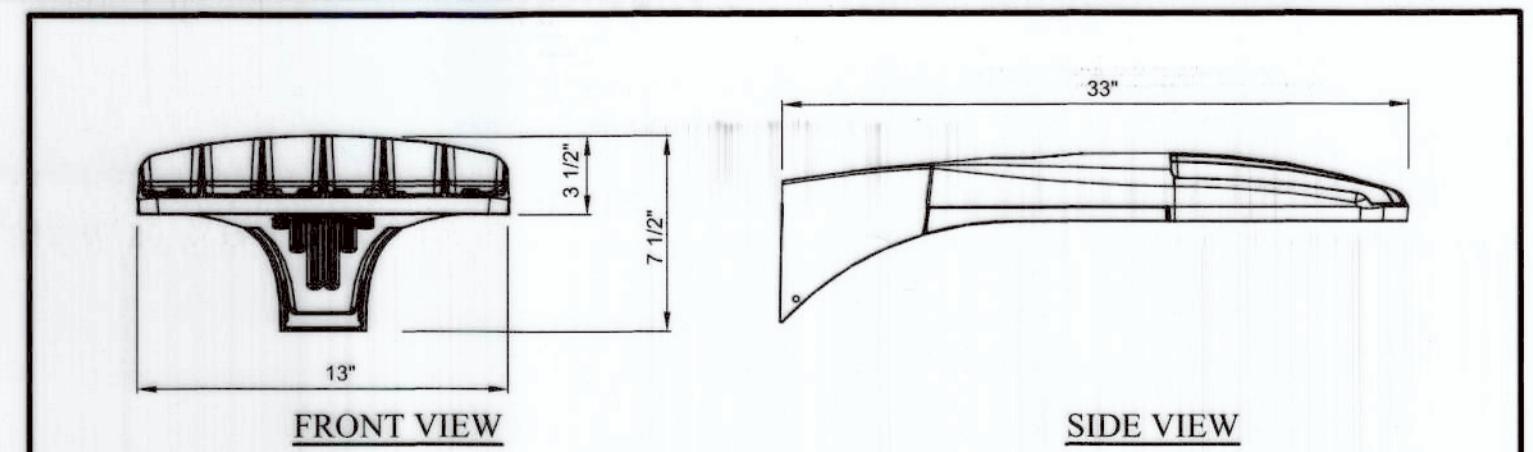
GRAPHIC SCALE



LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	POLE/BASE/MTG. HGT.	LLF
PK3	PK3	LITHONIA LIGHTING TYPE 3 (1) "D13" DSX1 LED P2 30K T3M MVOLT HS	(1)	19879	20 feet / 2 feet / 22 feet	0.85
PKF	PKF	LITHONIA LIGHTING FORWARD TH (1) "D1F" DSX1 LED P2 30K TFTM MVOLT HS	(1)	19364	20 feet / 2 feet / 22 feet	0.85
W3	W3	LITHONIA LIGHTING WALL TYPE 2 (1) "W13" DSXW1 LED 10C 530 30K T3M MVOLT HS	(1)	4707	N.A. / N.A. / 14 feet	0.85

APPROVALS

By: <i>Paul Chittell (mra group)</i>	TOWN ENGINEER	DATE: 10/13/23
By: <i>Anthony Cacciani</i>	PLANNING BOARD CHAIRPERSON	DATE: 10/23/23
By: <i>N/A</i>	TOWN ASSESSOR	DATE: _____
By: <i>N/A</i>	HIGHWAY SUPERINTENDENT	DATE: _____
By: <i>N/A</i>	WEBSTER SEWER DISTRICT	DATE: _____
By: <i>C. J. Z.</i>	FIRE MARSHALL	DATE: 10/23/23
By: <i>John J. Lutro</i>	DIRECTOR OF COMMUNITY DEVELOPMENT	DATE: 10/23/23



LITHONIA D-SERIES - SIZE 1
(SEE LUMINAIRE SCHEDULE)

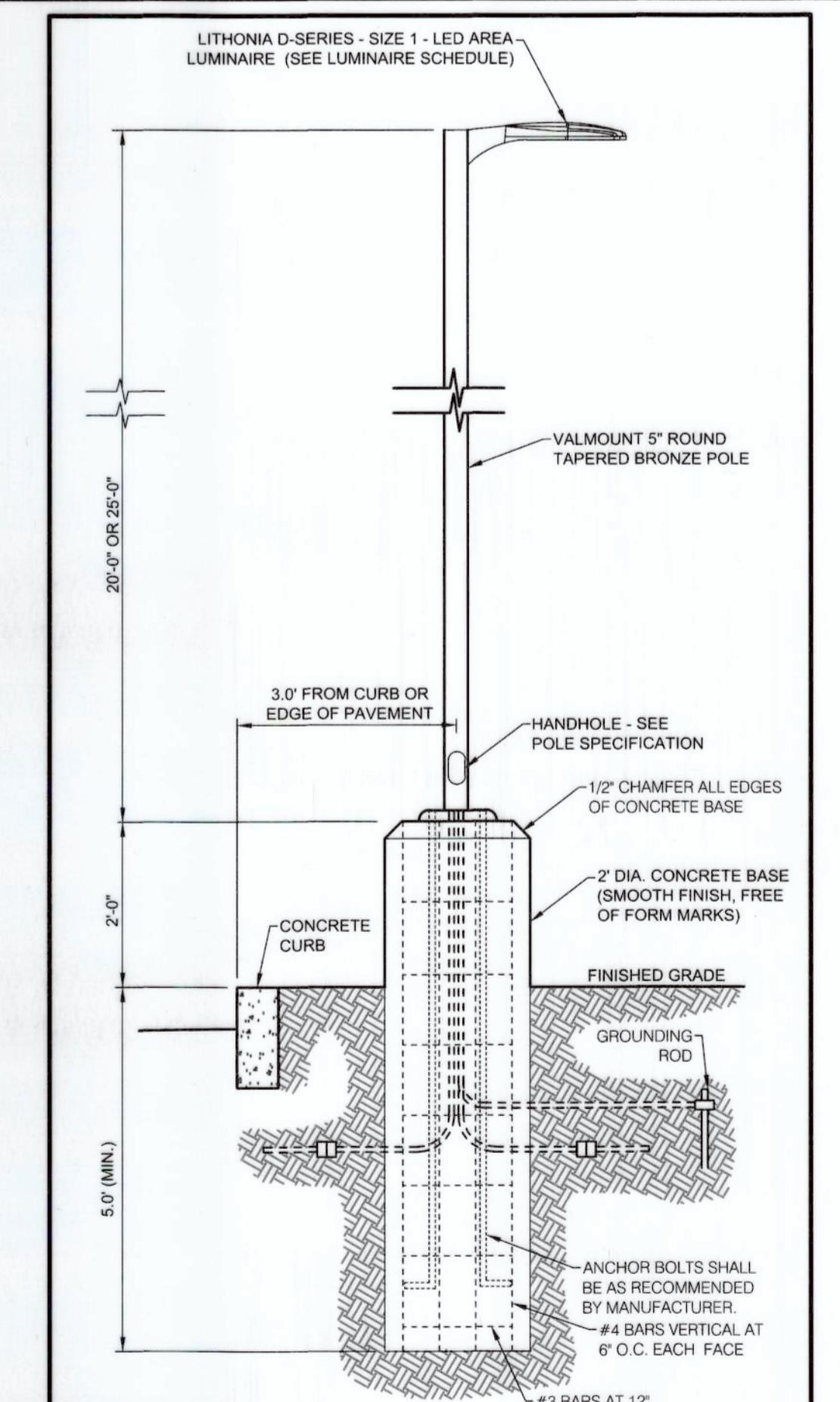
LITHONIA LIGHT FIXTURE DETAIL

NOT TO SCALE

Width: 13-3/4" (34.9 cm)	Weight: 12 lbs (5.4 kg)	Width: 13-3/4" (34.9 cm)	BBW: 5 lbs (2.3 kg)
Depth: 10" (25.4 cm)	Depth: 4" (10.2 cm)	Depth: 6-3/8" (16.2 cm)	ELCW: 10 lbs (4.5 kg)
Height: 6-3/8" (16.2 cm)	Height: 6-3/8" (16.2 cm)	For 3/4" NPT side-entry conduit (BBW only)	

LITHONIA LIGHT WALL MOUNTED FIXTURE DETAIL

NOT TO SCALE



NOTES:
-REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.
-ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

LITHONIA LIGHT POLE AND FIXTURE DETAIL

NOT TO SCALE



PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY

TOPO/BASE

DATE
04/12/2023
SCALE
1"=20'

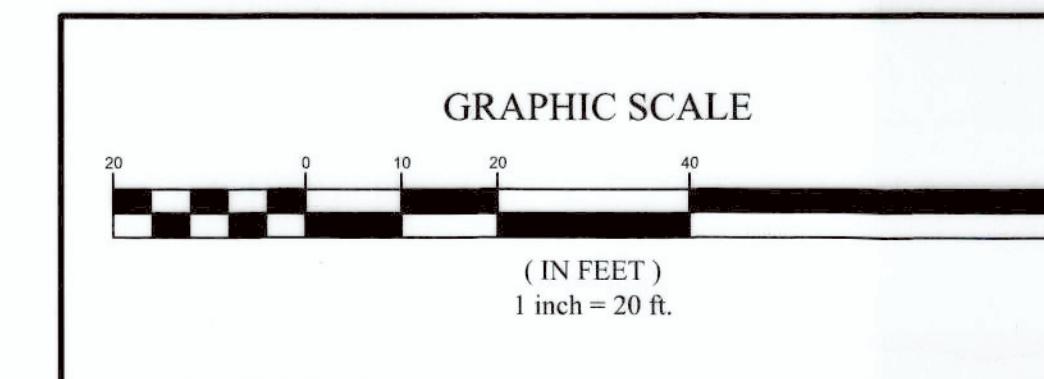


COSTICH
ENGINEERING

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1045 RIDGE ROAD
TITLE OF DRAWING
LIGHTING PLAN
LOCATION OF PROJECT
TAX PARCEL NO. 079.15-1-8.009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER,
COUNTY OF MONROE, STATE OF NEW YORK
CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG # EA100
SHEET 8 OF 13

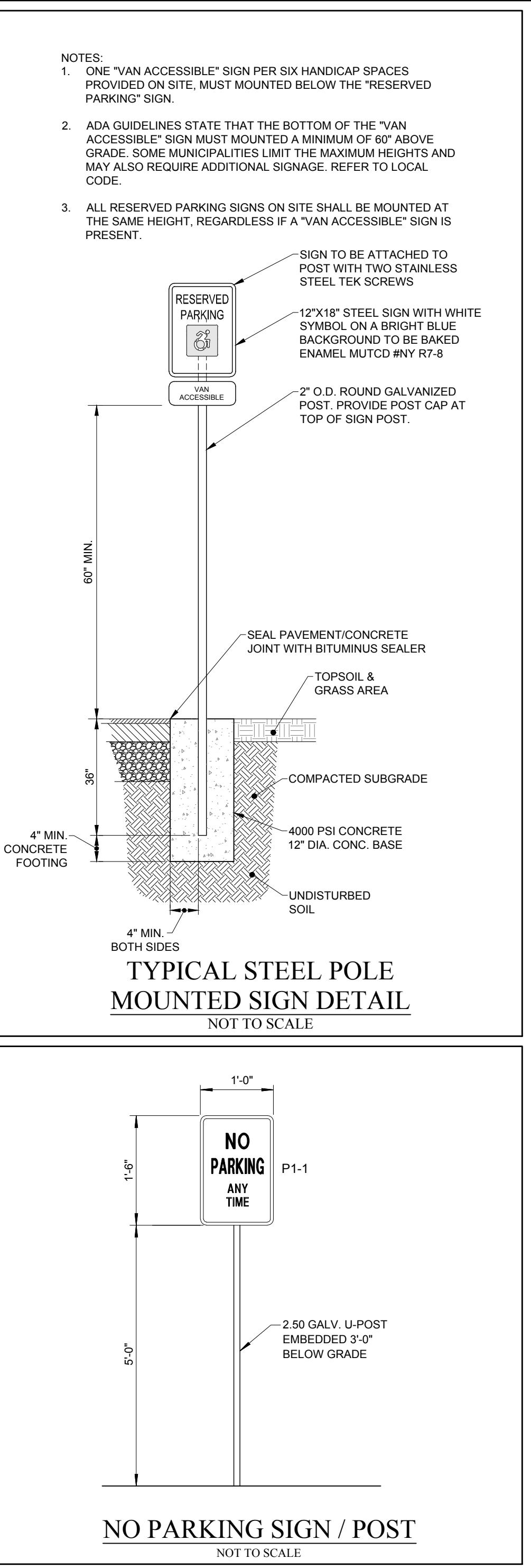
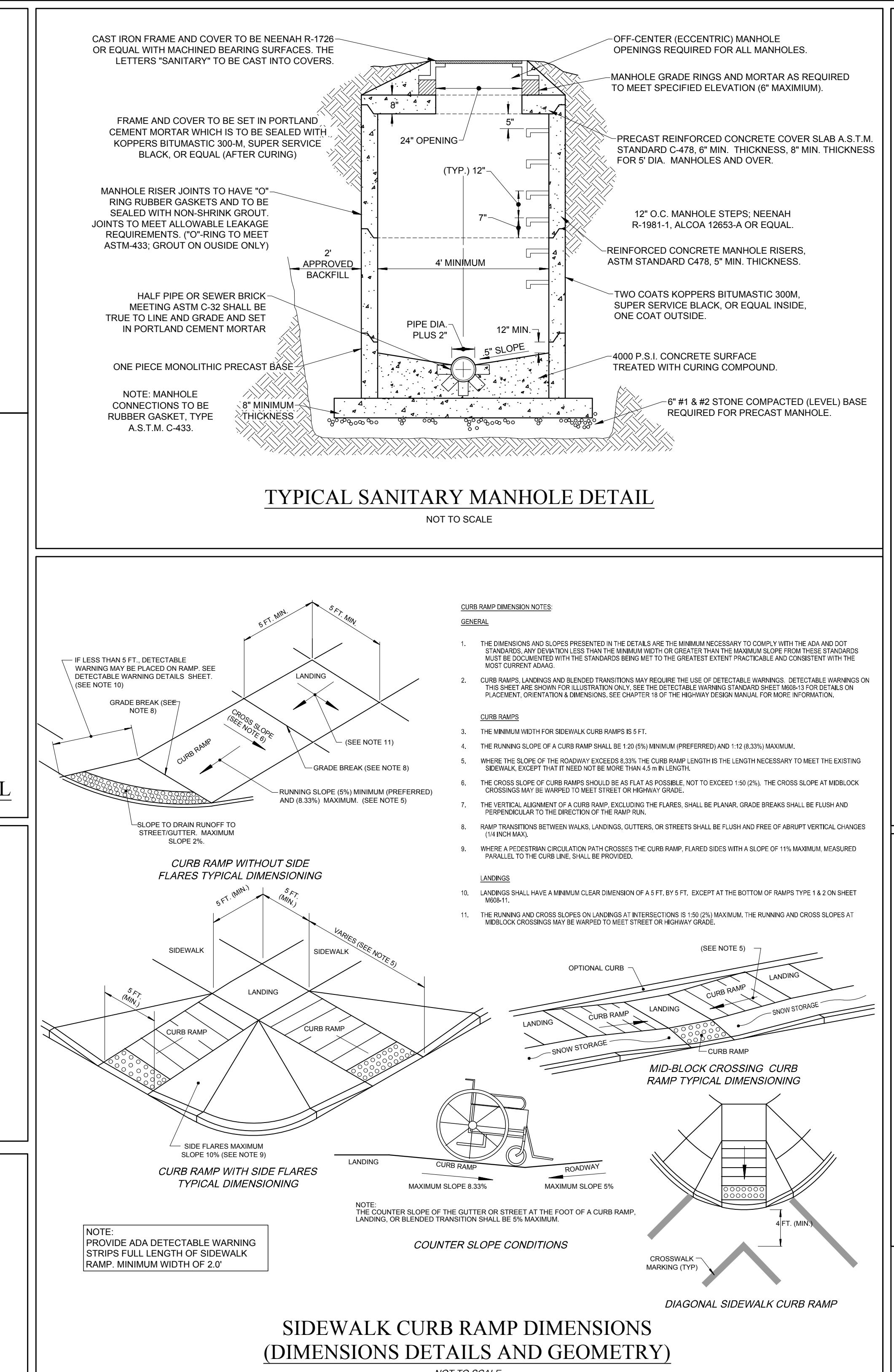
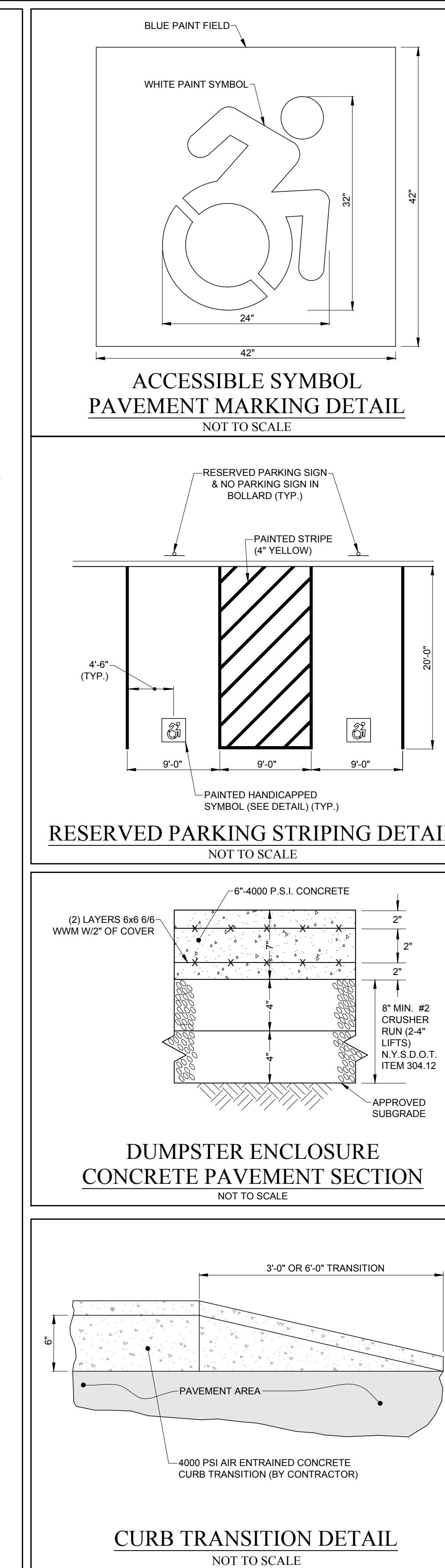
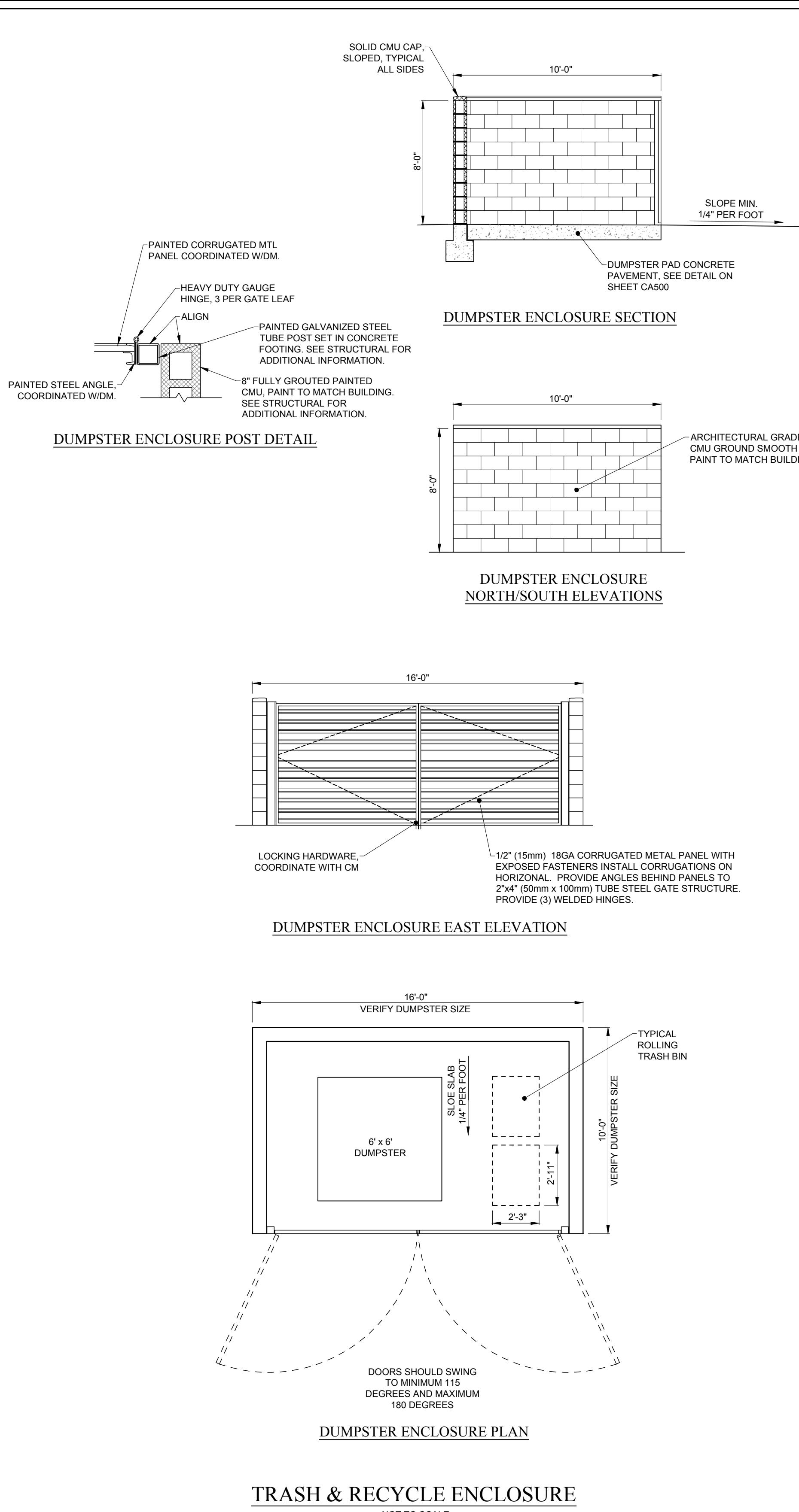


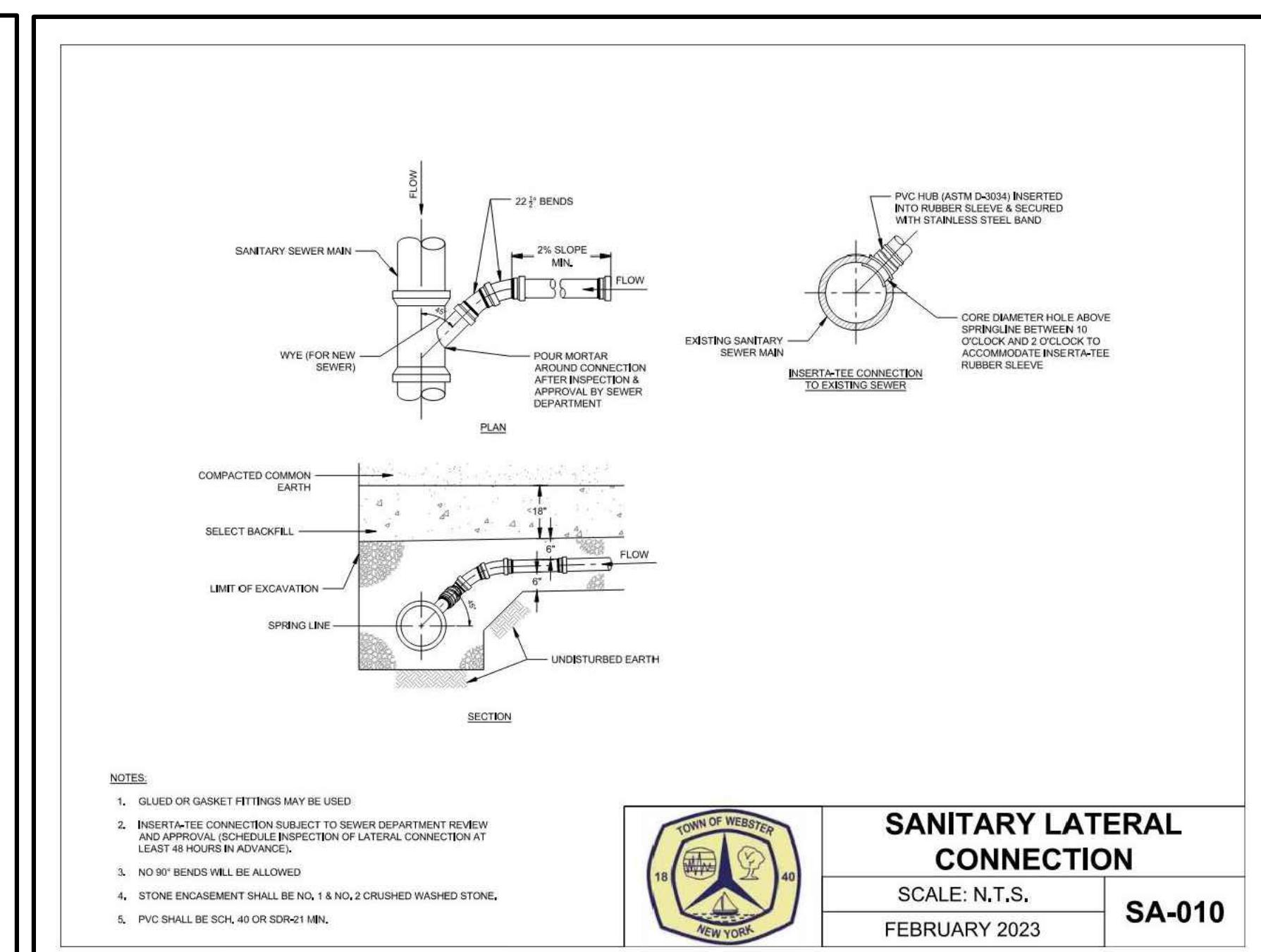
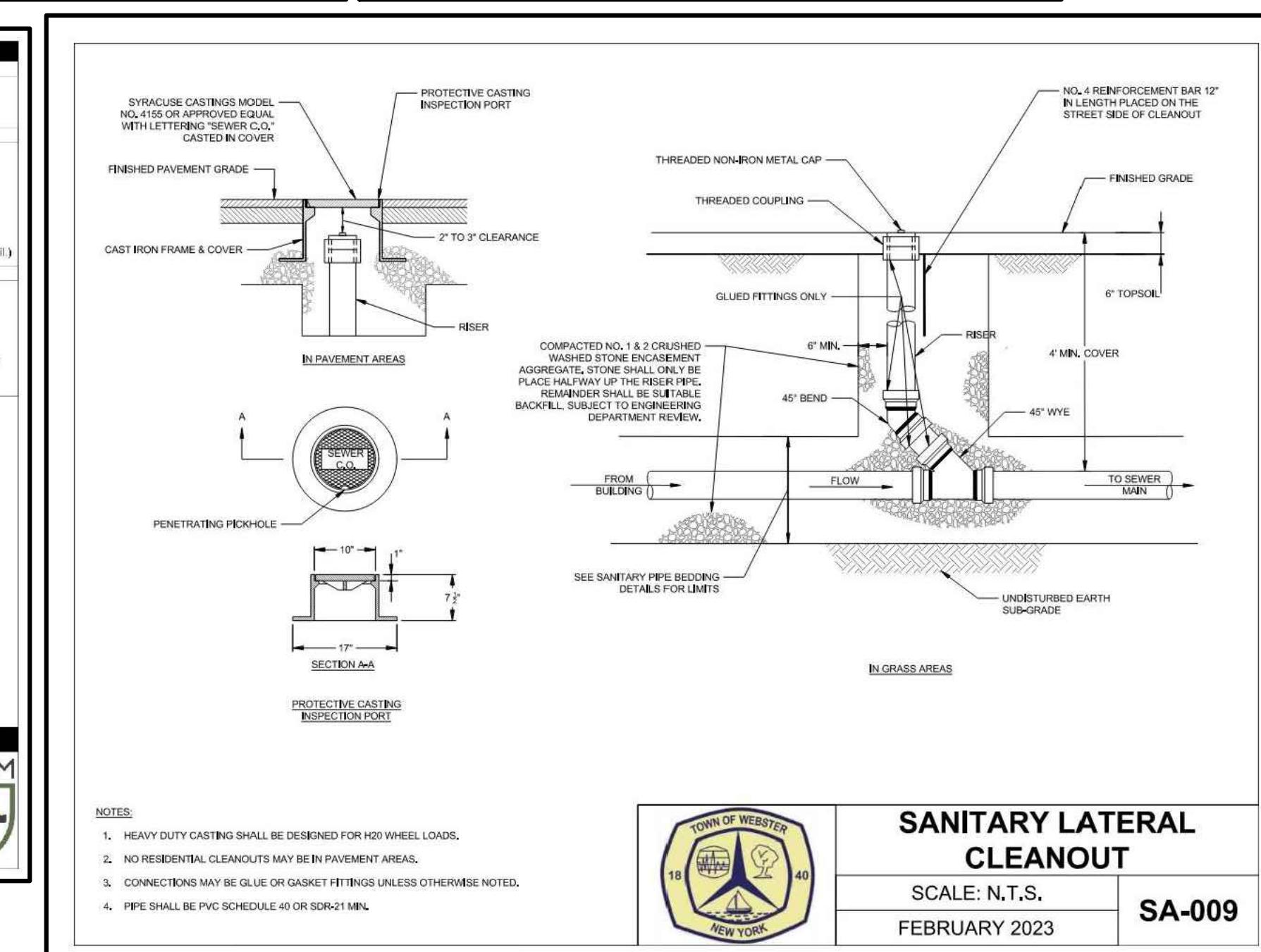
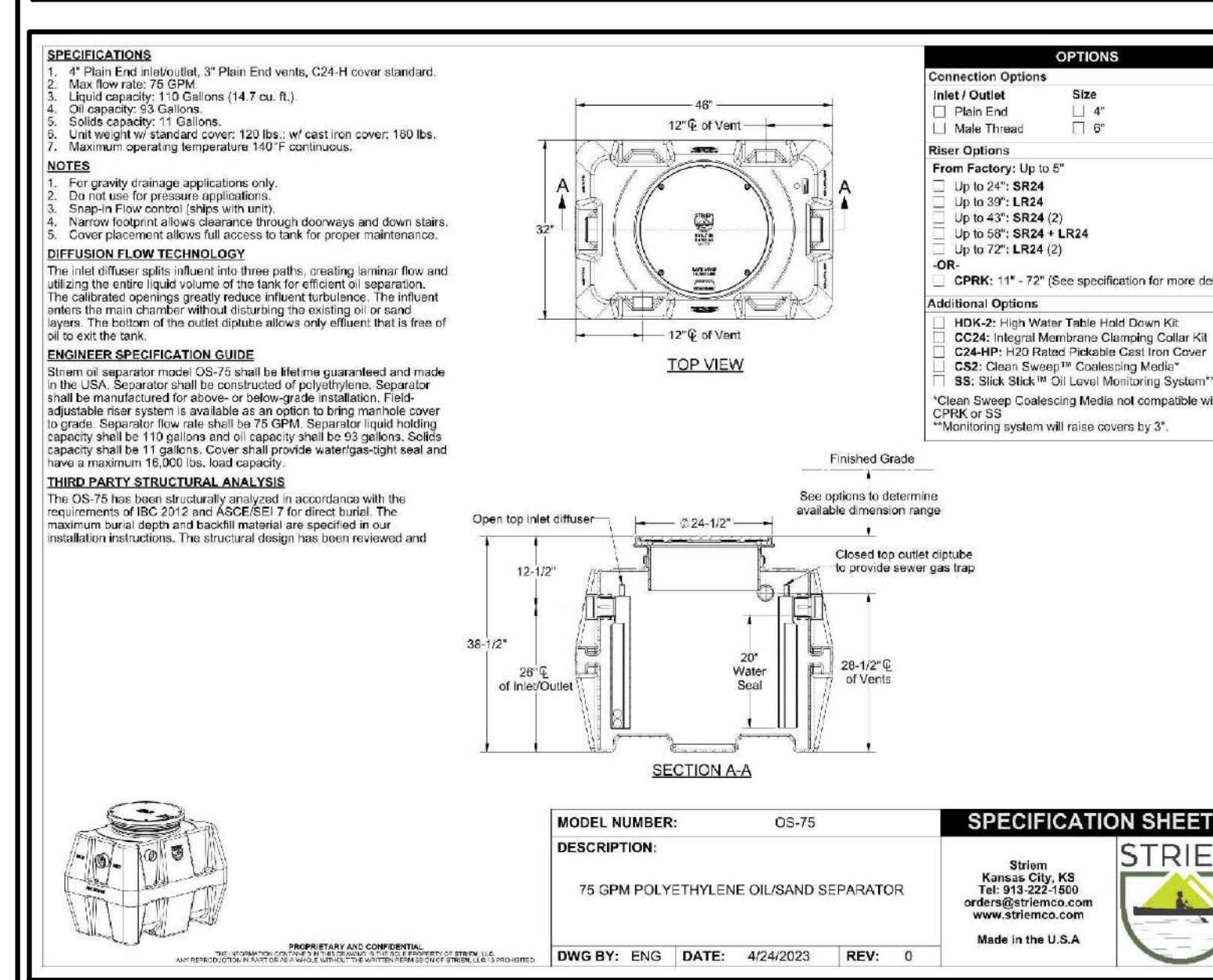
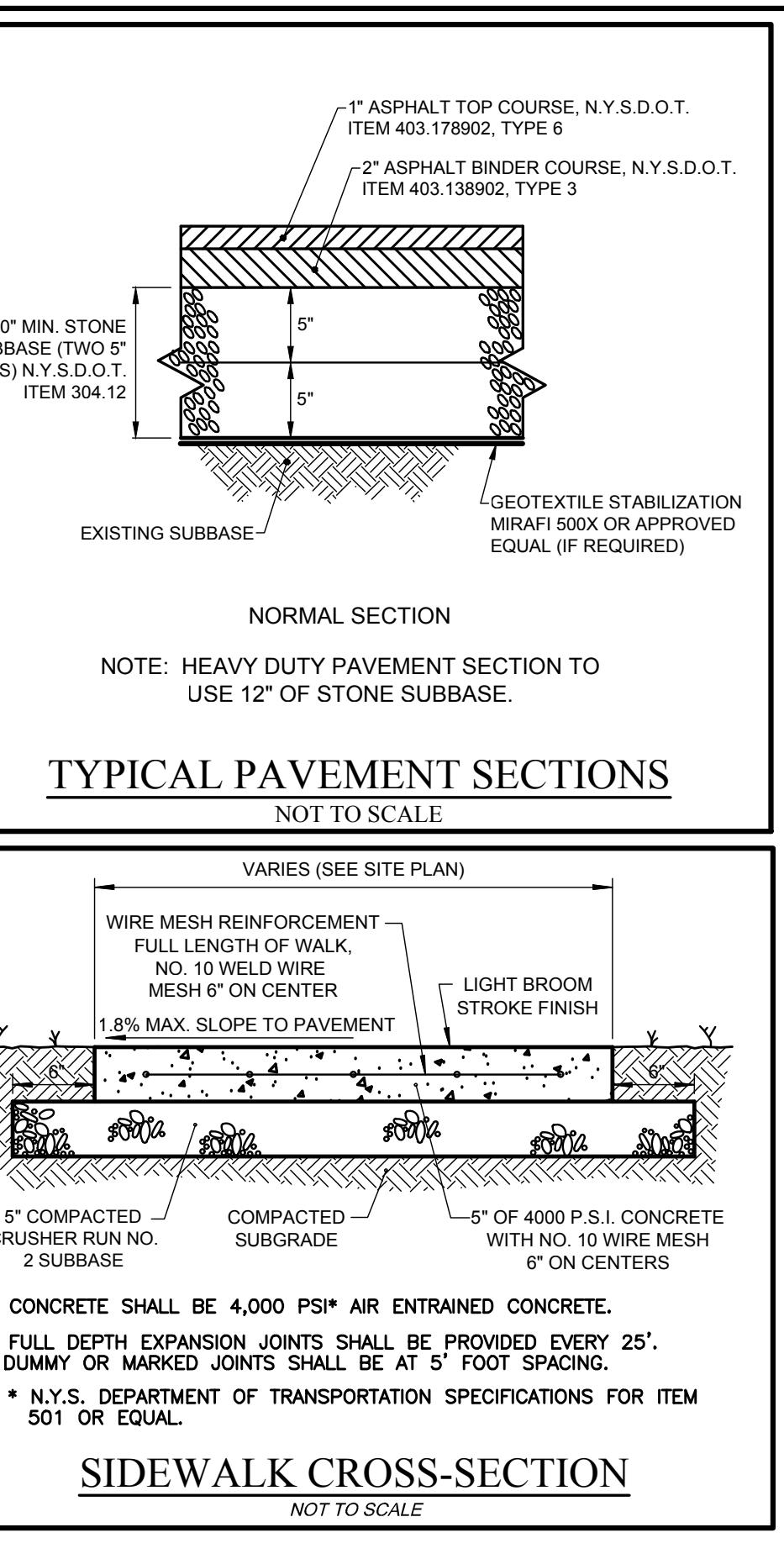
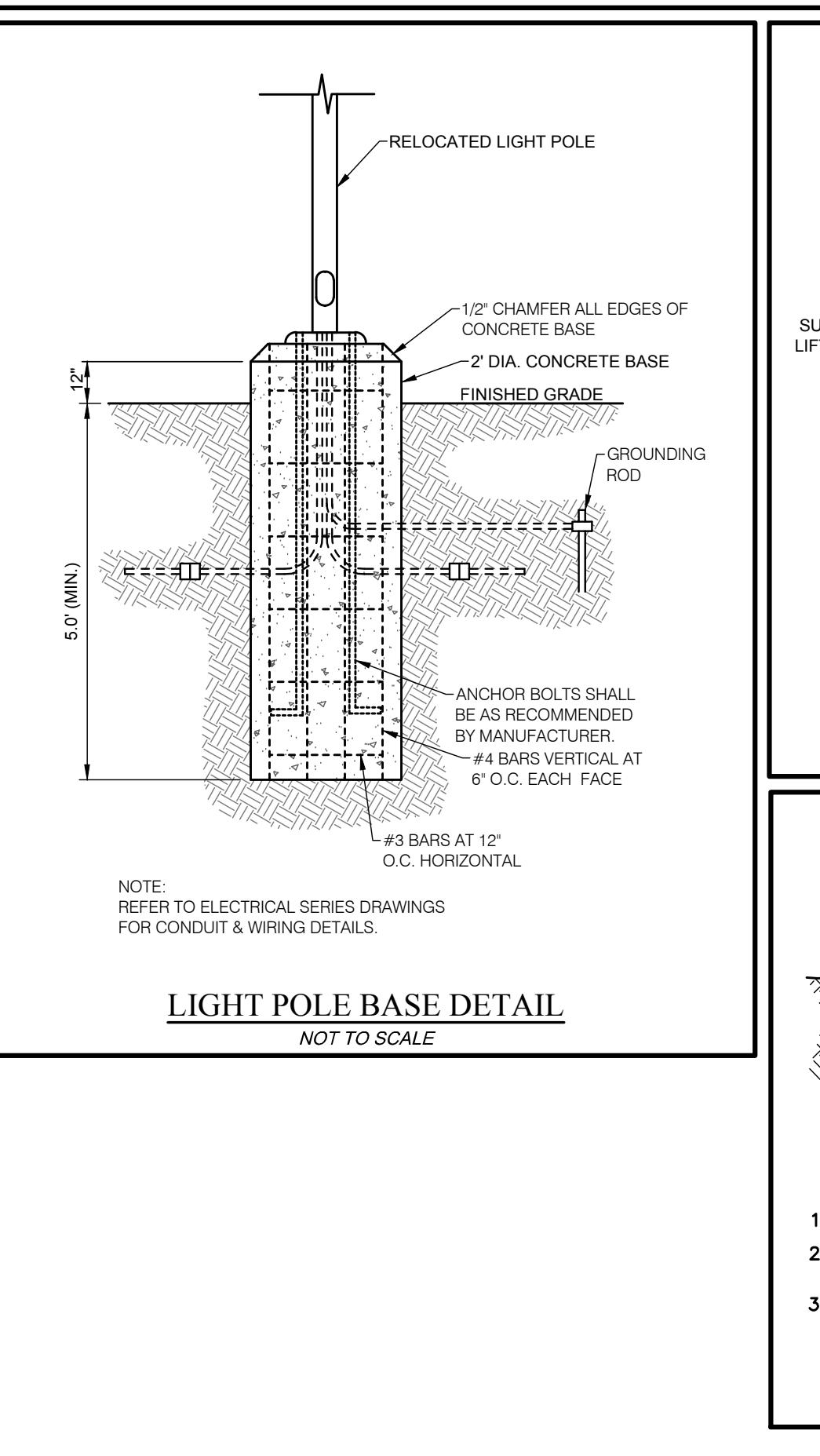
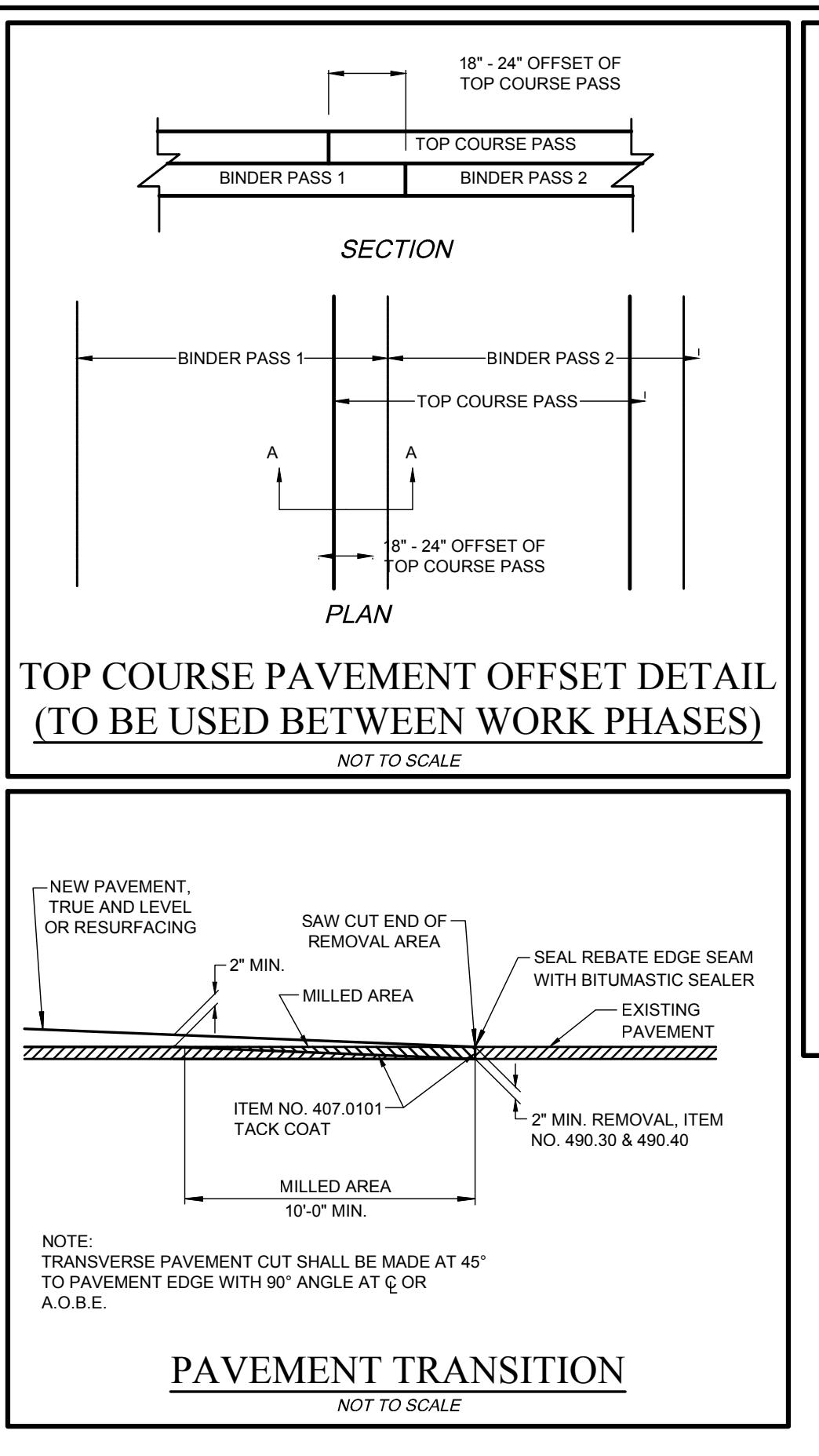
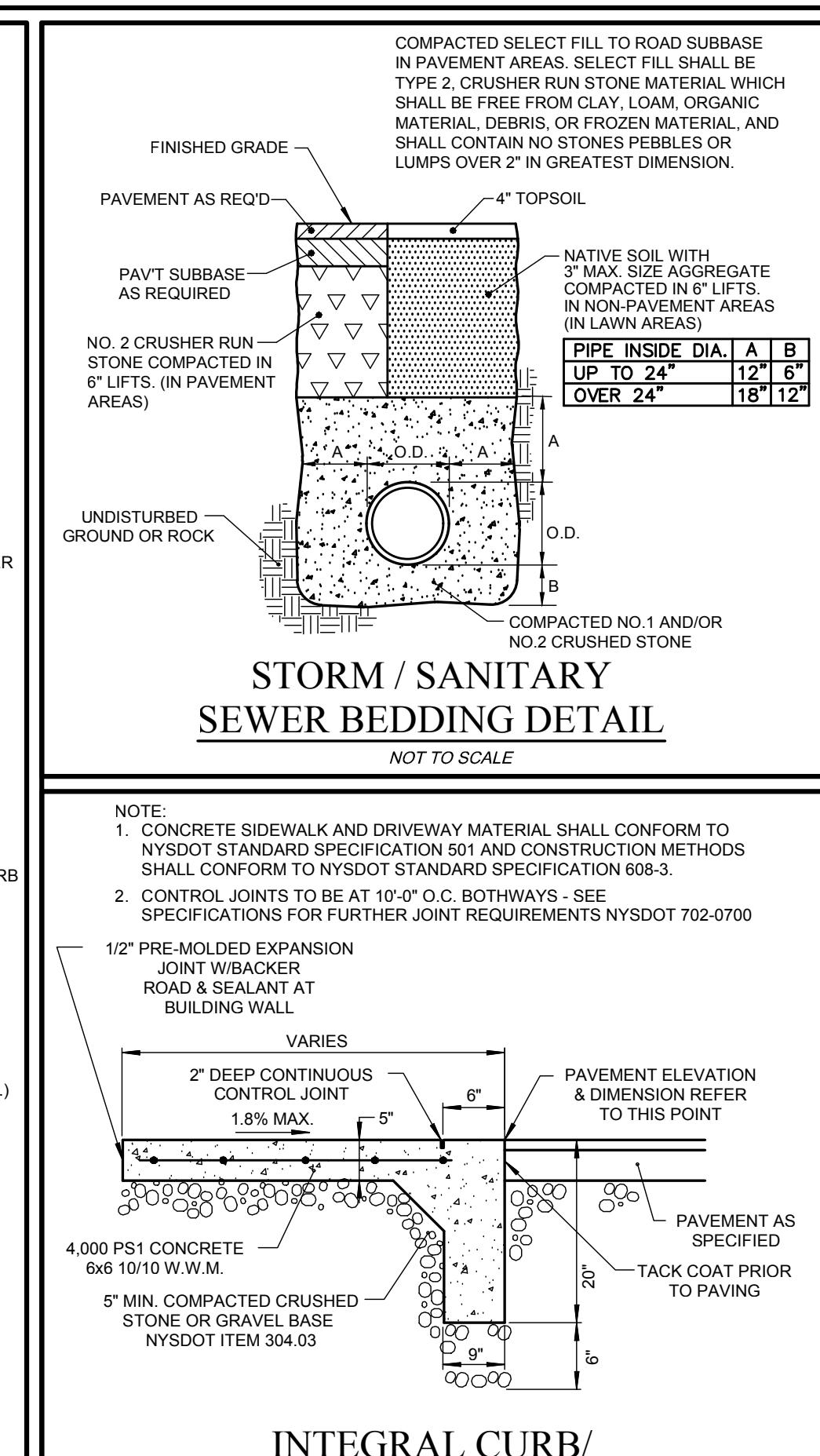
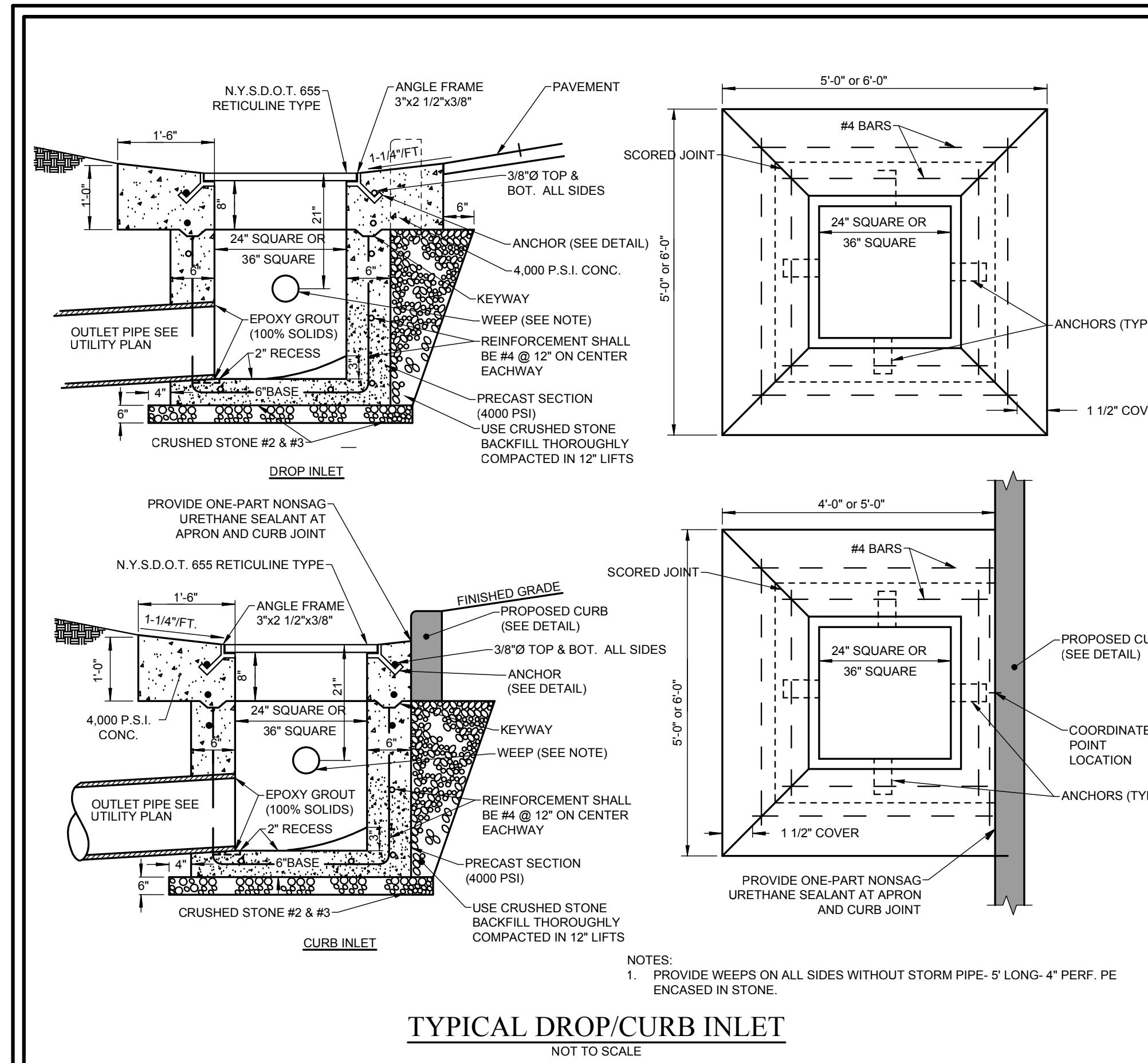
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR CROSS-SECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



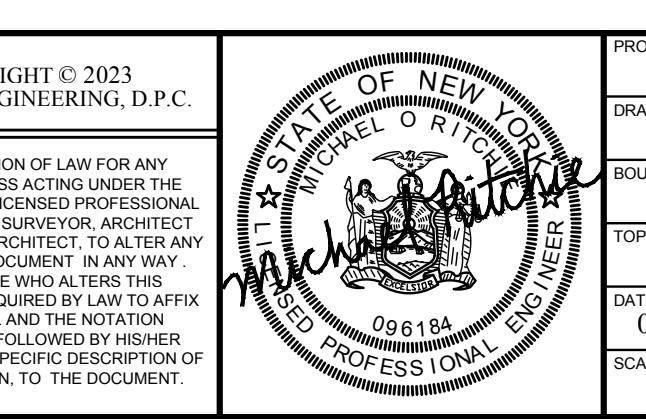
1	08/16/2023	REVISED PER MARKUPS	J.P.	
NO.	DATE	REVISION	BY	CHKD APVLs

COPYRIGHT © 2023
COSTICH ENGINEERING, D.P.C.
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM LISTED ON THIS DRAWING. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/her NAME AND LICENSE NUMBER ON "ALTERED BY", FOLLOWED BY HIS/her SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

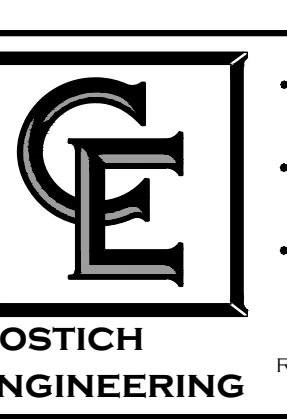




NO.	DATE	REVISION	BY	CHKD	APVLS



PROJECT MANAGER
E.R.G.
DRAWN BY
E.L.O.
BOUNDARY
--
TOPOBASE
--
DATE
04/12/2023
SCALE
N.T.S.



CIVIL
ENGINEERING
LAND
SURVEYING
LANDSCAPE
ARCHITECTURE

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1045 RIDGE ROAD
TITLE OF DRAWING
DETAIL SHEET
LOCATION OF PROJECT
TAX PARCEL NO. 079-15-1-009
TOWN LOT 47, TOWNSHIP 13, RANGE 4, TOWN OF WEBSTER,
COUNTY OF MONROE, STATE OF NEW YORK
CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG. # 8965
CA501
SHEET 10 OF 13

