

TOWN RESOLUTION AND "FINAL SITE PLAN APPROVAL WITH CONDITIONS"

AT THE PLANNING BOARD MEETING OF MAY 22, 2024, PROJECT NUMBER: 23-PS-0404, SBL: BELLA TERRA SUBDIVISION 2 SALT ROAD.

PURSUANT TO THE CODE OF THE TOWN OF WEBSTER FOR FINAL SITE PLAN APPROVAL FOR SECTION 2A & 2B OF THE BELLA TERRA SUBDIVISION WITH THE FOLLOWING CONDITIONS:

- SUBJECT TO PRC COMMENTS.
- SUBJECT TO PARKS AND RECREATION FEES.
- SUBJECT TO PRELIMINARY APPROVAL CONDITIONS.
- SUBJECT TO ALL APPLICABLE GOVERNMENTAL FEES.
- SUBJECT TO DEPARTMENT OF PUBLIC WORKS APPROVALS.
- SIGNIFICANT CONSTRUCTION SHALL OCCUR WITHIN ONE YEAR, AS DEEMED BY THE PLANNING BOARD, TO EXPIRE ON 5.21.25.
- THE CONDITIONS OF PRELIMINARY AND FINAL APPROVAL ARE DEPICTED ON THE COVER PAGE OF THE FINAL DESIGNATED PLANS.
- THE ENGINEER FOR THE PROPOSED PROJECT SHALL PROVIDE A LETTER OF CERTIFICATION THAT ALL PROPOSED WORK WAS COMPLETED, AS PER PLANNING BOARD RESOLUTION OF FINAL APPROVAL BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
- A LETTER OF CREDIT TO THE TOWN FOR THE PROJECT SHALL INCLUDE THE FEE FOR THE ENGINEERS FINAL CERTIFICATION INSPECTION OF THE SITE.
- ALL STORM WATER CULVERTS ARE TO BE CONSTRUCTED FIRST.
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM SEWER SYSTEM.
- SUBJECT TO RESOLUTION OF FINAL APPROVED MINUTES.
- APPROVALS ARE SUBJECT TO DRAWING NO. DATED: MAPS DATED 3.20.24.

SITE DATA

	REQUIRED	PROPOSED
1. ZONING: "LMF" LOW-MEDIUM RESIDENTIAL DISTRICT		
2. TAX MAP NUMBER: 065-002-01-04-220		
3. PROJECT BULK DATA - TOWNHOUSES		
a. MINIMUM BUFFER (NON-RESIDENTIAL)	50 FT.	150 FT.
b. MINIMUM BUFFER (RESIDENTIAL)	20 FT.	40 FT.
c. MINIMUM WIDTH DWELLING UNIT	30 FT.	30 FT.
d. MAXIMUM BUILDING HEIGHT	30 FT.	30 FT.
e. MAXIMUM BUILDING LENGTH	165 FT.	84 FT.
f. MINIMUM HABITABLE FLOOR AREA (PER UNIT)	1,000 SQ. FT.	2,160 SQ. FT.
g. MAXIMUM UNIT DENSITY	1.9 UNITS/ACRE	1.9 UNITS/ACRE
h. MINIMUM DISTANCE BETWEEN STRUCTURES	40 FT.	40 FT.
i. MINIMUM DRIVEWAY SEPARATION	5 FT.	5 FT.
j. MAXIMUM IMPERVIOUS AREA	75%	19.9%
4. PROJECT DATA	REQUIRED	PROPOSED
FRONT SETBACK	N/A	35 FT.

SPECIAL NOTES

- ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
- ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REGULATIONS SET FORTH BY THE TOWN OF WEBSTER.
- ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF WEBSTER.
- PRESERVE ALL NATIVE TREES ON SITE, WHERE POSSIBLE, AND MARK SAID TREES BY THE DEVELOPER'S ENGINEER PRIOR TO THE COMMENCING OF ANY SITE WORK.
- COMPLY WITH ALL REQUIREMENTS OF ANY FEDERAL, STATE, COUNTY OR TOWN AGENCY.
- THE DEED RESTRICTIONS FOR THE PROPERTY SHALL INCORPORATE THE DEFINITION OF THE PROPERTY LIMITS AND THE CONDITION OF DISTURBANCE BEYOND THE PROPERTY LIMITS.
- THE PRIVATE ROAD AND RIGHT-OF-WAY IS TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER LISTED AS 800 PHILLIPS ROAD LLC.
- ACCESS EASEMENTS ARE TO BE GRANTED OVER THE PRIVATE RIGHT-OF-WAYS BEHIND ALL PROPERTIES WITHIN THE SUBDIVISION. PROOF OF EASEMENT FILING IS TO BE A FINAL FINAL PLAT MAP.

CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO

THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 11, 2023 AND FROM THE REFERENCE(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: Daniel T. Hickok, N.Y.S.L.S., No. 005049 Date: _____

Applicant Email: thomas@nra-mac.com
Engineer's Email: mitch@costich.com

SURVEY NOTES

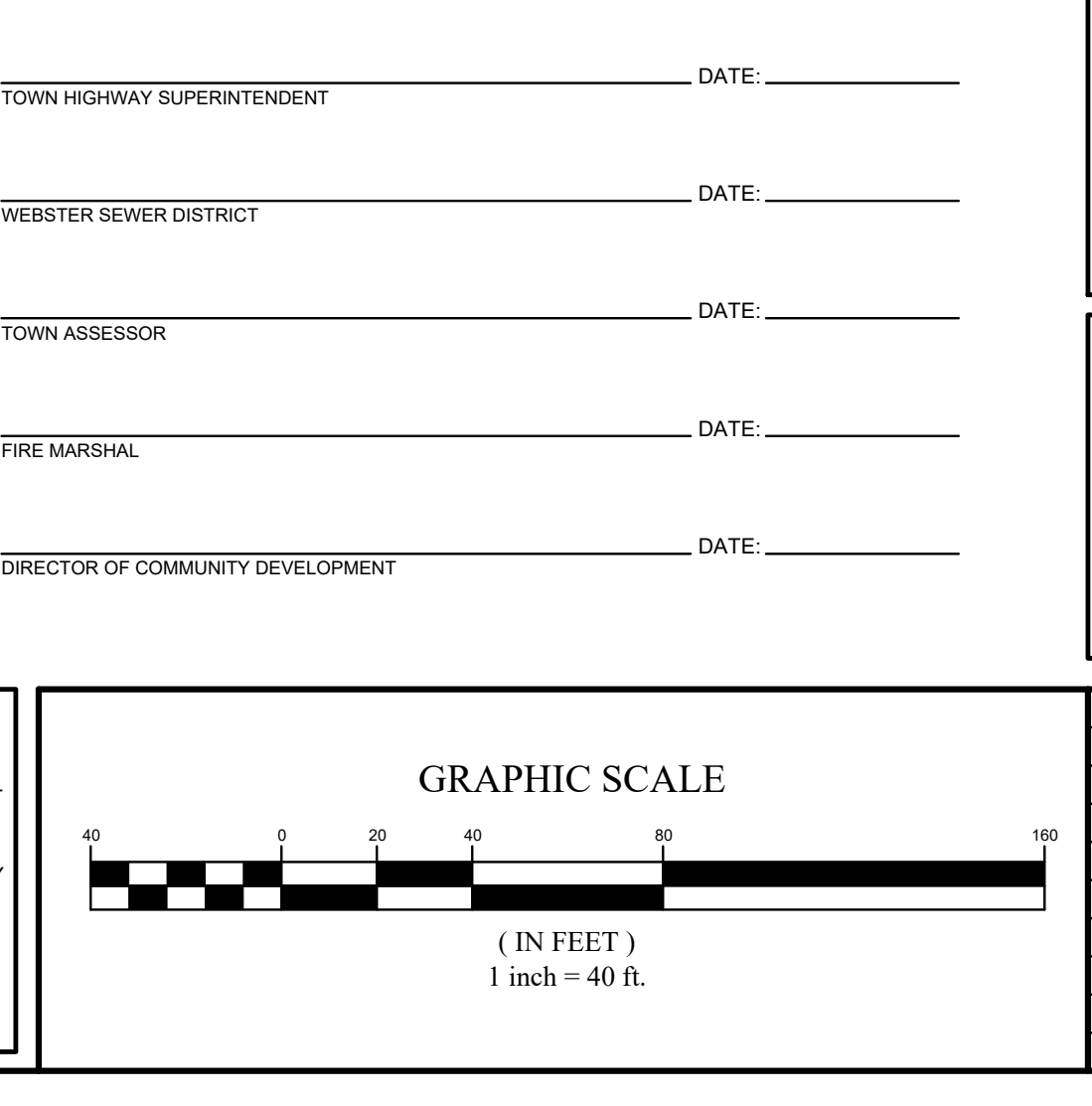
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 2019, REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- THE DEVELOPER AND CONTRACTOR MUST LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL, MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA FOR GEODETIC CONTROL MONUMENTS GO TO THE COUNTY OF MONROE SURVEYORS OFFICE WEBSITE AND ACCESS THE GIS BASED INTERNET WEB VIEWER, OR CONTACT THE MONROE COUNTY SURVEYORS OFFICE.
- THIS PROJECT IS LESS THAN 500 FEET FROM THE NEAREST GEODETIC SURVEY MONUMENT AND THIS PROJECT IS TIED INTO THE MONROE COUNTY GEODETIC MONUMENTATION NETWORK.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1927, WEST ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 27 THROUGHOUT. TIES TO THE FOLLOWING GEODETIC MONUMENTS:
11395 (NYOS) 19401882 N-1:182,844.36 E+1,544.70 (NAD 1927)
11394 (NYOS) 19401882 N-1:182,886.24 E+1,544.04 (NAD 1927)
- USING A COMBINED SEA LEVEL AND COMBINED FACTOR OF 1.000329, TIES TO MONUMENTATION WAS MADE USING APPROPRIATE PROCEDURES TO OBTAIN AN INDICATED ACCURACY OF 1:20,000 OR BETTER.
- ALL DISTANCES SHOWN ON THIS MAP ARE REFERENCED TO THE GROUND.
- ELEVATIONS ARE REFERENCED TO MONUMENT 1123 (NYOS) 1940 & 1972, REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, (ELEV. +353.736)
- TOPOGRAPHIC SURVEY WAS CONDUCTED ON MAY 11, 2023.
- PREMISES SUBJECT TO A NON EXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER THE STREETS LOCATED WITHIN BELLA TERRA PROPERTY KNOWN AS TERRA VERDE WAY, CARDELLA COURT, MILANO TRAIL, SISTENE WAY AND BELLORA WAY FROM SCHLEGEL ROAD AND SLAT ROAD BOTH A PUBLIC THROUGHFARE PER LIBER 12972 OF DEEDS PAGE 601.

REFERENCES

- MAP ENTITLED "XEROX SUBDIVISION MAP" PREPARED BY BERGMANN ASSOCIATES DATED MARCH 13, 2020, HAVING PROJECT NUMBER 6912-10 AND IS FILED IN THE MONROE COUNTY CLERK'S AS LIBER 362 OF MAPS PAGE 41.
- THE DEEDS AS SHOWN ON FILE IN THE MONROE COUNTY CLERK'S OFFICE BOOK 10731 OF DEEDS PAGE 75 (LOT 1 LIBER 336 MAPS, PAGE 41).
- MAP ENTITLED "BELLA TERRA SUBDIVISION SECTION 1" PREPARED BY COSTICH ENGINEERING DATED MARCH 13, 2020, HAVING PROJECT NUMBER 6912-10 AND IS FILED IN THE MONROE COUNTY CLERK'S AS LIBER 362 OF MAPS PAGE 43 AND 44.
- MAP ENTITLED "RE-SUBDIVISION OF REMAINING LANDS OF BELLA TERRA SUBDIVISION PER LIBER 362 OF MAPS PAGE 43" PREPARED BY COSTICH ENGINEERING DATED MARCH 13, 2023 HAVING PROJECT NUMBER 6912-10 AND IS FILED IN THE MONROE COUNTY CLERK'S OFFICE AS LIBER 366 OF MAPS PAGE 58.

SITE LINE & SYMBOL LEGEND

SECTION/PARCEL BOUNDARY	BY: _____ DATE: _____
RIGHT-OF-WAY LINE	BY: TOWN ENGINEER
ADJACENT PROPERTY LINE	BY: _____ DATE: _____
MNR. BUILDING SETBACK	BY: PLANNING BOARD CHAIRPERSON
CENTERLINE	BY: _____ DATE: _____
EXIST. CONCRETE CURB	BY: TOWN HIGHWAY SUPERINTENDENT
EXIST. EDGE OF PAVEMENT	BY: WEBSTER SEWER DISTRICT
PROPOSED BUILDING	BY: _____ DATE: _____
PROPOSED CONCRETE CURB	BY: TOWN ASSESSOR
PROPOSED LOT LINE	BY: _____ DATE: _____
PROPOSED EASEMENT LINE	BY: FIRE MARSHAL
EXIST. ADJOINING PROPERTY LINE	BY: _____ DATE: _____
EXIST. EASEMENT LINE	BY: DIRECTOR OF COMMUNITY DEVELOPMENT
EXIST. RIGHT-OF-WAY LINE	BY: _____ DATE: _____
EXIST. EDGE OF PAVEMENT	BY: _____ DATE: _____
EXISTING UTILITY POLE, GUY ANCHOR & POLE WEAIGHT	BY: _____ DATE: _____
EASEMENT DIMENSION	BY: _____ DATE: _____



MONROE COUNTY DEPARTMENT OF HEALTH REALTY SUBDIVISION CONDITIONS OF APPROVAL.

1. THAT THE PROPOSED PROJECT FOR WATER SUPPLY AND SEWER SERVICE ARE INSTALLED IN CONFORMANCE WITH SAID PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF HEALTH.	BY: _____ DATE: _____
2. THAT NO LOT OR REMAINING LAND IS APPLICABLE SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION, BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.	BY: _____ DATE: _____
3. THAT AN ORIGINAL SUBDIVISION MAP, AS APPROVED THIS DATE, SHALL BE FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF MONROE PRIOR TO OFFERING LOTS FOR SALE.	BY: _____ DATE: _____
4. THAT THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT, WITH A COPY OF THE APPROVED MAP OR IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SANITARY SEWER, STORM WATER AND WATER SUPPLY.	BY: _____ DATE: _____
5. THAT ADEQUATE DISSEMINATION CONTRACT, MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION, IF THE PROJECT WILL RESULT IN THE DIVISION OF ONE OR MORE COVERAGE UNDER THE VOTED SPECIES OF 0-1000 FOR STORM WATER DISCHARGE FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.	BY: _____ DATE: _____
6. THAT ANY APPROVAL IS LIMITED TO 1 YEAR. THE EXTENSION OF AN APPROVAL MAY BE OBTAINED BY THE MONROE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENTAL GAINS TO THE PROJECT. THE EXTENSION OF AN APPROVAL MUST BE FILED WITH THE ADEQUATE SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.	BY: _____ DATE: _____

S11 APPROVAL:

NO.	DATE	REVISION	BY	DATE
01	03/20/2024	ADDED ACCESS EASEMENT INFORMATION TO SURVEY NOTES	M.D.R.	M.D.R.
02	05/10/2024	REVISED PER TOWN COMMENTS TO IDENTIFY OWNER OF PRIVATE ROAD AND INTENT TO CONSTRUCT	M.D.R.	M.D.R.
03	06/10/2024	REVISED PER TOWN COMMENTS TO CORRECT EASEMENT AND SHIFT LOT LINES	G.S.R.	G.S.R.
04	06/10/2024	REVISED PER TOWN COMMENTS DATED 03/20/2024	J.P.	J.P.
05	06/10/2024	REVISED PER TOWN COMMENTS DATED 03/20/2024	J.P.	J.P.
06	06/10/2024	REVISED PER TOWN COMMENTS DATED 03/20/2024	J.P.	J.P.
07	06/10/2024	REVISED PER TOWN COMMENTS DATED 03/20/2024	J.P.	J.P.

REAL PROPERTY TAX SERVICE:

BY: _____ DATE: _____	County Highway Superintendent
BY: _____ DATE: _____	For the Monroe County Monumentation Law
BY: _____ DATE: _____	Monroe County Surveyors Office

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL.

THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE DISPOSAL FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE II OF THE MONROE COUNTY SANITARY CODE.

DIRECTOR OF PUBLIC HEALTH

COSTICH ENGINEERING

217 LAKE AVENUE
ROCHESTER, NY 14609
(716) 438-3022

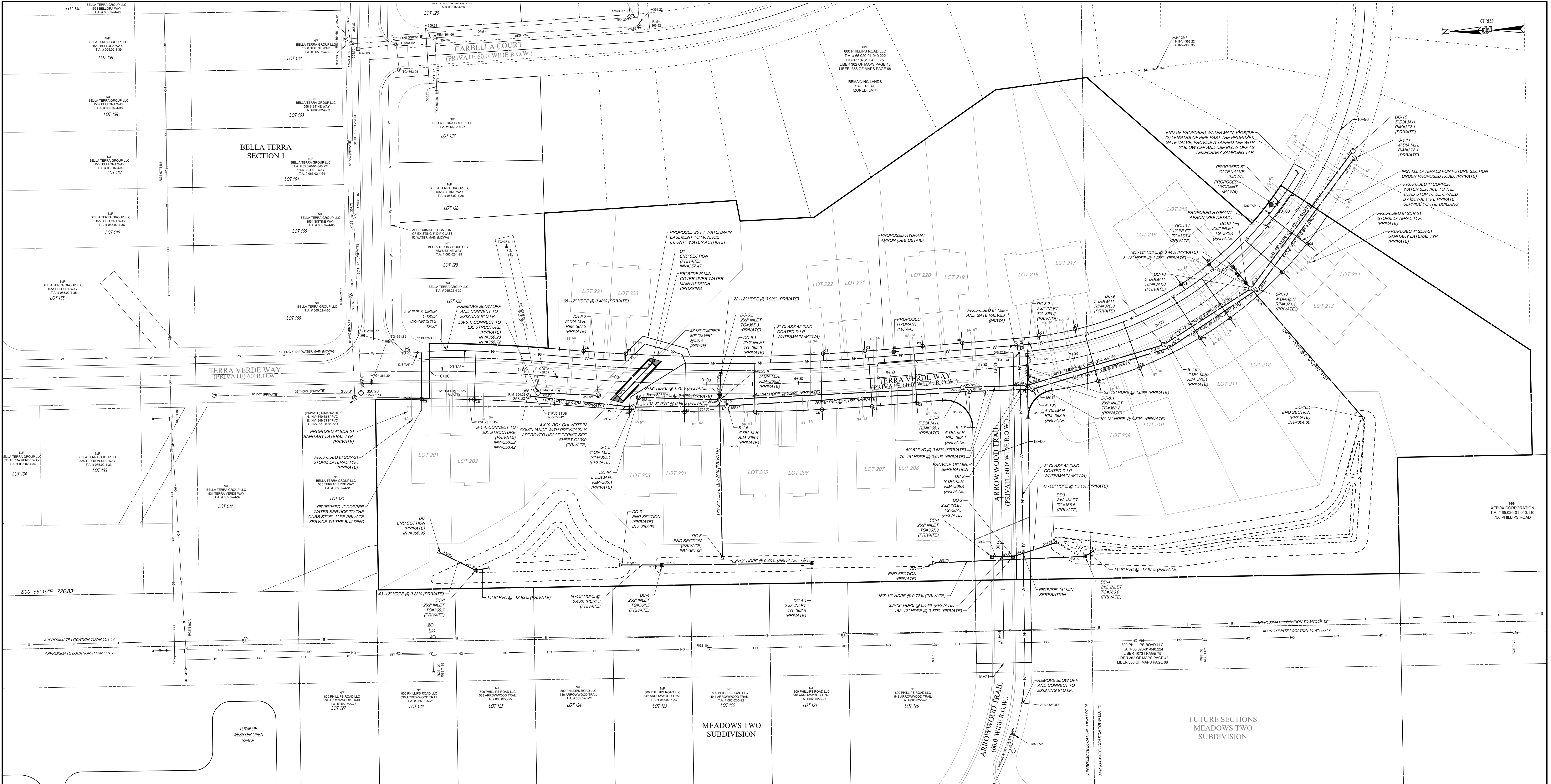
BELLA TERRA SUBDIVISION SECTION 2B

PLAT MAP SECTION 2B

LOCATION OF PROJECT: PORTION OF TAX PARCEL 65-02-01-04-222, TOWN LOTS 124 & 125, SECTION 1, TOWN 10N, RANGE 4, PHILLIPS AND JORDAN PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK.

CLIENT: 800 PHILLIPS ROAD LLC
FILE NO: 23-PS-022

DWG # 250011
CA101
SHEET 2 OF 6



- NOTES:
1. ALL CROSSOVER PIPES SHALL BE PERFORMED HDPE.
 2. ALL ROADWAY WEEPS SHALL HAVE UNDERDRAIN THE FULL LENGTH OF THE ROAD.
 3. ALL ROADS, STORM SEWERS, SANITARY SEWERS AND STORMWATER MANAGEMENT FACILITIES ARE TO BE PRIVATELY OWNED. THE WATER MAIN AND APPURTENANCES ARE TO BE DEDICATED TO THE MONROE COUNTY WATER AUTHORITY.
 4. THE CONFIGURATION AND LOCATION OF THE STORMWATER PONDS ARE SUCH THAT THE TOWN WILL NOT TAKE DEDICATION OF THEM NOW OR ANYTIME IN THE FUTURE. A STORMWATER MAINTENANCE AGREEMENT WILL BE REQUIRED. ANY FUTURE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE.
 5. A STORMWATER MAINTENANCE AGREEMENT IS TO BE PROVIDED TO THE TOWN TO REVIEW. THIS WILL INCLUDE THE REQUIREMENT OF AN ACCESS EASEMENT TO THE TOWN IN THE CASE THAT MAINTENANCE IS NOT BEING PERFORMED AND THE TOWN IS TO CORRECT ANY ISSUES THAT THE RESPONSIBLE PARTY HAS NOT. THIS WILL ALSO OUTLINE THE REPORTING REQUIREMENTS OF THE RESPONSIBLE PARTY TO THE TOWN.

PUBLIC WATER SYSTEM NOTES

WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.

MATERIAL:

- 1. WATER MAINS SHALL BE 8-INCH ZINC-COATED DUCTILE IRON CEMENT-CLASSED 50.
- 2. WATER SERVICES SHALL BE 1-INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1/2-INCH TYPE K SOFT COPPER 90 FEET FROM THE CURB BOX TO THE METER.
- 3. WATER METERS SHALL BE LOCATED ON THE INTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDINGS. ON METERS SERVICES REQUIRING A 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
- 4. ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.

TESTS:

- 1. **SOL TEST:** THE CONTRACTOR SHALL PROVIDE A SOL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENGAGEMENT FOR ANS/ANW/C/22/1-1/2 PRIOR TO WATER MAIN INSTALLATION. SOL TESTING SHALL BE CONDUCTED BY AN APPROVED SOL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
- 2. **PRESSURE TEST:** WATER MAINS TO BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATIONS. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
- 3. **HEALTH SAMPLE:** THE WATER MAIN SHALL BE DISINFECTION EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-601, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTION THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

INSTALLATION:

- 1. WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- 2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER MAINS SHALL BE 18" MEASURED FROM OUTSIDE OF PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE TEN FEET MEASURED FROM OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE WATER MAINS.
- 3. FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
- 4. ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THROUST BLOCKS OF APPROPRIATE SIZE TO PROVIDE THIRTY PERCENT (30%) COVER.

STORM SEWER NOTES

1. STORM SEWER LATERALS FOR SINGLE-FAMILY HOMES ARE TO BE 6" DIA. P.V.C. SDR-35, AND ARE TO EXTEND (1) ELEVEN FEET BEYOND THE RIGHT-OF-WAY LINE OR (2) ELEVEN FEET BEYOND AN EASEMENT LINE (WHICHEVER IS GREATER).
2. ROOF LEADERS SHALL BE CONNECTED TO THE STORM SEWER DRAINAGE SYSTEM VIA A 6" PIPE WITH CLEANOUTS.
3. FOUNDATION DRAINS SHALL BE CONNECTED TO THE STORM SEWER LATERALS VIA A SLUMP PUMP.
4. STORM SEWER PIPE MATERIAL OPTIONS ARE AS FOLLOWS: a) POLYVINYL CHLORIDE (P.V.C.) CLASS 200 RIGID POLYETHYLENE HIGH DENSITY POLYETHYLENE (HDPE) (C.P.P.).
5. ALL STORM PIPE CONNECTIONS TO BE WATER TIGHT.

SANITARY SEWER NOTES

1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER 100 LINEAL FEET PER YEAR. THE CONTRACTOR SHALL CONFORM TO THE PROCEEDING STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXPLORATION OR VACUUM VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).

2. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST THIRTY DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANHOLE. IT SHALL HAVE A DIAMETER EQUAL TO 90% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT THE AID OF MECHANICAL PULLING DEVICES.

3. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

4. SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (P.V.C.), SDR-35, UNLESS DEPTH EXCEEDS 12" IN WHICH CASE USE SDR-21.

5. SANITARY SEWER LATERALS FOR THE SINGLE-FAMILY HOMES ARE TO BE 4" DIA. P.V.C. SDR-35, OR SCH 40, AND SHALL EXTEND ELEVEN (11) FEET BEYOND THE RIGHT-OF-WAY LINE OR (1) ELEVEN FEET BEYOND AN EASEMENT LINE, WHICHEVER IS GREATER.

GENERAL UTILITY NOTES

1. EXISTING UTILITIES (LOCATIONS, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN OBTAINED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION AND DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. SUFFICIENTLY AHEAD OF TIME TO ALLOW REDESIGN (IF DEEMED NECESSARY), THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES OR NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REDESIGN DESIGN LOCATIONS OR TIME ALLOWED TO DO THE SAME, WHICH SHALL RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER AND THE VARIOUS UTILITY OWNERS, IN AMPLE TIME, FOR THE OWNERS TO LOCATE AND MARK THEIR FACILITIES.
2. ALL IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF WESTER, THE MONROE COUNTY HEALTH DEPARTMENT, THE MONROE COUNTY WATER AUTHORITY, THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION, AND ANY OTHER AGENCY HAVING JURISDICTION.
3. THE DEVELOPERS AND CONTRACTORS ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971, REGARDING LIABILITY INCURRED THROUGHOUT DISTURBANCE OR DESTRUCTION OF GEOLOGIC SURVEY MONUMENTS, THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF CONSTRUCTION. FOR MORE DESCRIPTIVE AND SURVEY DATA ON THESE MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
5. ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND APPURTENANCES, NOT WITHIN A DEDICATED RIGHT-OF-WAY, SHALL BE DEDICATED TO THE PROPER GOVERNING AGENCY. THE DEDICATION SHALL BE CONDUCTED THROUGH EASEMENTS WHICH SHALL BE SHOWN AND DESCRIBED AT THE FINAL STATE OF PLANS.

M.C.H.D. WATER MAIN NOTES

1. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING OF WATER MAINS. DISINFECTION MUST BE COMPLETED PRIOR TO THE WATER MAIN BEING PLACED IN SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. SUFFICIENTLY AHEAD OF TIME TO ALLOW REDESIGN (IF DEEMED NECESSARY), THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES OR NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REDESIGN DESIGN LOCATIONS OR TIME ALLOWED TO DO THE SAME, WHICH SHALL RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER AND THE VARIOUS UTILITY OWNERS, IN AMPLE TIME, FOR THE OWNERS TO LOCATE AND MARK THEIR FACILITIES.
2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STATION, MINIMUM LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VALVES) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED. THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD 2000 LATEST REVISION OR IN ACCORDANCE WITH THE M.C.H.D. WATER MAIN NOTES.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
5. ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND APPURTENANCES, NOT WITHIN A DEDICATED RIGHT-OF-WAY, SHALL BE DEDICATED TO THE PROPER GOVERNING AGENCY. THE DEDICATION SHALL BE CONDUCTED THROUGH EASEMENTS WHICH SHALL BE SHOWN AND DESCRIBED AT THE FINAL STATE OF PLANS.

TOWN DRIVEWAY NOTES

1. DRIVEWAYS ARE NOT PERMITTED OVER MANHOLES, CLEAN-OUTS, VALVES AND CATCH BASINS.
2. DRIVEWAY CONNECTIONS ARE NOT PERMITTED IN THE VICINITY OF RECEIVING BASINS AND/OR THE TEMPORARY TURNAROUND.
3. DRIVEWAY CONNECTIONS ARE NOT ALLOWED WITHIN 10' OF A HYDRANT.
4. DRIVEWAYS TO HAVE 5 FOOT MINIMUM SEPARATION.

HYDRANT FLOW TEST DATA

DATA SUPPLIED BY THE MCWA
LOCATION: TERRA VERDE WAY
TEST DATE: 5/26/2023
STATIC PRESSURE = 55 PSI
OBSERVED FLOW = 1087 GPM
RESIDUAL PRESSURE = 44 PSI
0.25 1993 GPM

PLEASE NOTE THE FOLLOWING INFORMATION

THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS THE CALCULATED VALUES FOR THIS LOCATION IN THE DISTRIBUTION SYSTEM BASED ON TYPICAL LOW OPERATING CONDITIONS. THESE VALUES CAN VARY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS AND OTHER RELATED CRITERIA. PLEASE CONTACT MONROE COUNTY WATER AUTHORITY WITH ANY ADDITIONAL QUESTIONS.

NOTE:
DRIVEWAYS ARE NOT PERMITTED OVER MANHOLES, CLEAN-OUTS, VALVES AND CATCH BASINS

LEGEND

- SECTION/PARCEL BOUNDARY
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXIST. ADJOINING PROPERTY LINE
- EXIST. EASEMENT LINE
- EXIST. RIGHT-OF-WAY LINE
- EXIST. EDGE OF PAVEMENT
- EXIST. WATER MAIN, GATE VALVE & HYDRANT
- EXIST. SANITARY SEWER & MANHOLE
- EXIST. DRAINAGE SEWER, FIELD INLET
- INLET MANHOLE, M.H., & END SECTION
- PROP. WATER MAIN, GATE VALVE & HYDRANT
- PROP. SANITARY SEWER & MANHOLE
- PROP. DRAINAGE SEWER, FIELD INLET
- INLET MANHOLE, M.H., & END SECTION
- PROP. GUTTER AND CATCH BASIN

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH		MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH	
THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENTS ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.		THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENTS ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.	
DIRECTOR OF PUBLIC HEALTH		DIRECTOR OF PUBLIC HEALTH	
BY	PUBLIC HEALTH ENGINEER	DATE	

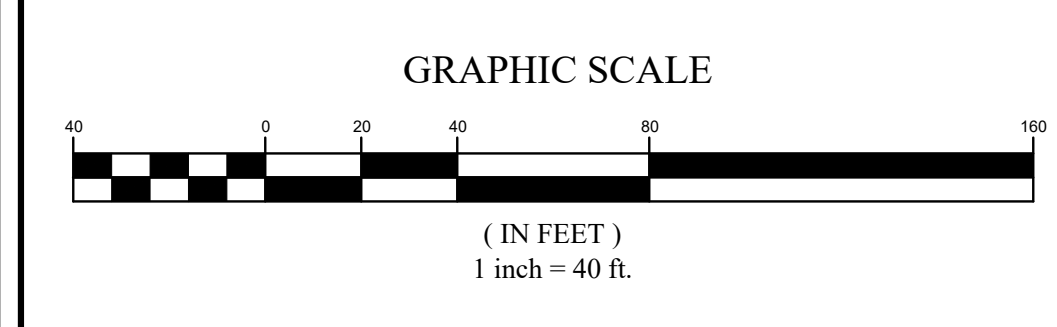
APPROVALS

BY	TOWN ENGINEER	DATE	
BY	PLANNING BOARD CHAIRPERSON	DATE	
BY	TOWN HIGHWAY SUPERINTENDENT	DATE	
BY	WESTER SEWER DISTRICT	DATE	
BY	TOWN ASSESSOR	DATE	
BY	FIRE MARSHAL	DATE	
BY	DIRECTOR OF COMMUNITY DEVELOPMENT	DATE	
BY	MONROE COUNTY WATER AUTHORITY	DATE	

PROJECT MANAGER W.T.A. DESIGNER J.S.F. SCALE 1"=40'		TITLE OF PROJECT BELLA TERRA SUBDIVISION SECTION 2 UTILITY SECTION 2A LOCATION OF PROJECT: PORTION OF TAX PARCEL 93.03.01.00.02.22 TOWN OF WESTER, NY 14090 PHILIPS AND JOHNSON PURCHASE, TOWN OF WESTER, NY 14090 CLINT 217 LAKE AVENUE ROCHESTER, NY 14609 PHONE NO. 585-592-3372	
DATE 12/13/2023		DRAWN BY J.S.F.	
SCALE 1"=40'		CHECKED BY J.S.F.	
PROJECT MANAGER W.T.A.		DESIGNER J.S.F.	
SCALE 1"=40'		CHECKED BY J.S.F.	



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION AND DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. SUFFICIENTLY AHEAD OF TIME TO ALLOW REDESIGN (IF DEEMED NECESSARY), THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

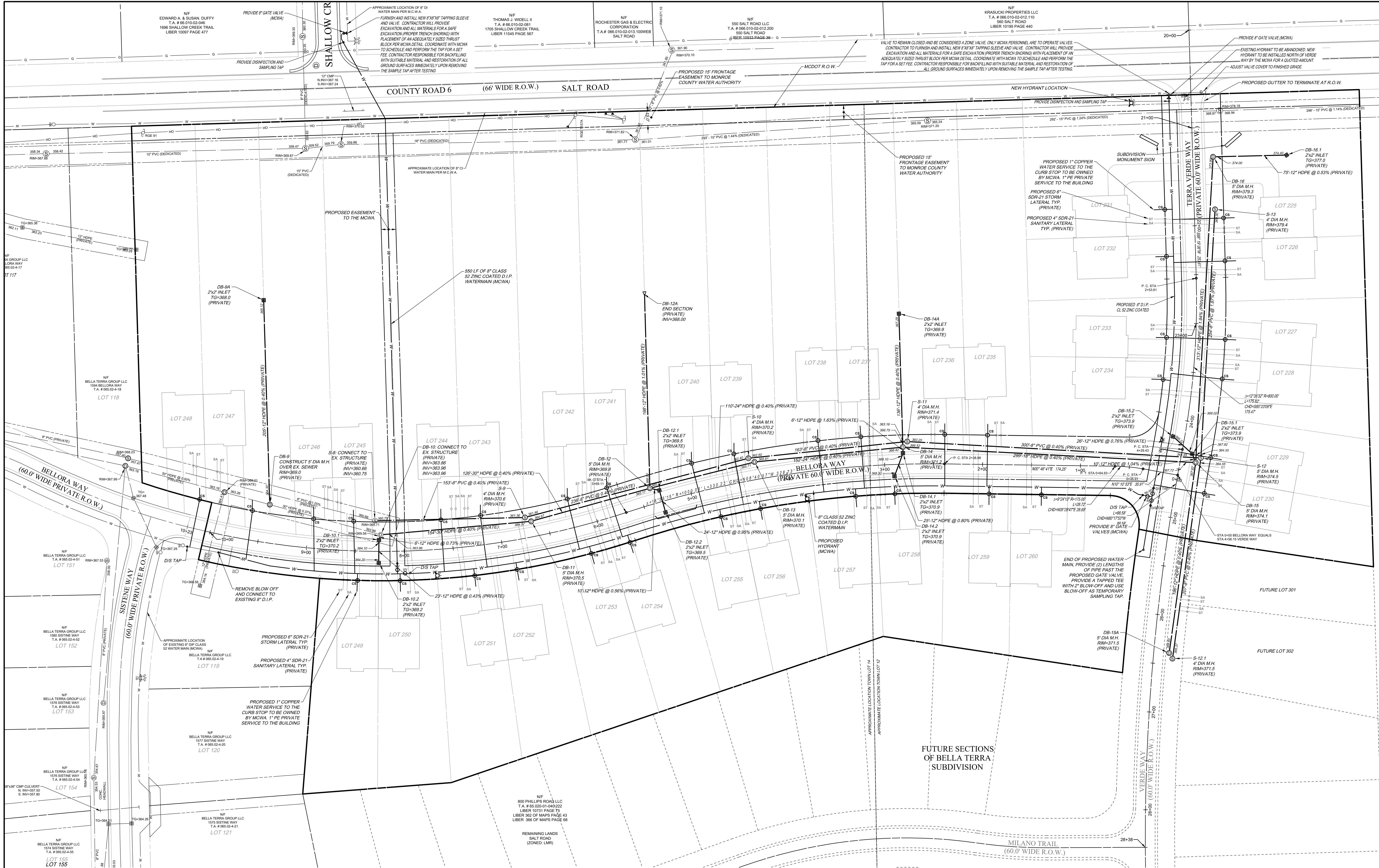


NO.	DATE	REVISION
01	05/25/2024	REVISED PER MCWA COMMENTS DATED 3/20/2024
02	05/25/2024	REVISED LOTS 219-222 PER TOWN COMMENT
03	05/25/2024	REVISED PER TOWN COMMENT
04	05/25/2024	REVISED PER TOWN COMMENTS TO SEPARATE STORMWATER FROM MEADOWS TWO
05	05/25/2024	REVISED PER MCWA COMMENTS DATED 3/20/2024
06	05/25/2024	REVISED PER TOWN COMMENTS DATED 01/10/2024
07	05/25/2024	REVISED PER TOWN COMMENTS DATED 01/10/2024
08	05/25/2024	REVISED PER TOWN COMMENTS DATED 01/10/2024
09	05/25/2024	REVISED PER TOWN COMMENTS DATED 01/10/2024
10	05/25/2024	REVISED PER TOWN COMMENTS DATED 01/10/2024

COPYRIGHT © 2024 COSTICH ENGINEERING, D.P.C.		IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR ENGINEER, TO REPRODUCE OR ALTER THIS DOCUMENT IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. ANY ALTERATION BY ANY OTHER PERSON SHALL BE AT THE ALTERER'S SOLE RISK AND WITHOUT LIABILITY TO THE ENGINEER OR ARCHITECT.	
DATE	12/13/2023	SCALE	1"=40'
PROJECT MANAGER	W.T.A.	DESIGNER	J.S.F.
SCALE	1"=40'	CHECKED BY	J.S.F.



TITLE OF PROJECT BELLA TERRA SUBDIVISION SECTION 2 UTILITY SECTION 2A LOCATION OF PROJECT: PORTION OF TAX PARCEL 93.03.01.00.02.22 TOWN OF WESTER, NY 14090 PHILIPS AND JOHNSON PURCHASE, TOWN OF WESTER, NY 14090 CLINT 217 LAKE AVENUE ROCHESTER, NY 14609 PHONE NO. 585-592-3372		DRAWN BY J.S.F.	
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LEGEND

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- PROP. SANITARY SEWER & MANHOLE
- PROP. DRAINAGE SEWER, FIELD INLET
- PROP. DRAINAGE SEWER, FIELD INLET
- PROP. GUTTER AND CATCH BASIN

NOTES:

- ALL CROSSOVER PIPES SHALL BE PERFORMED HOPE.
- ALL ROADWAY WEERS SHALL HAVE UNDERDRAIN THE FULL LENGTH OF THE ROAD.
- ALL ROADS, STORM SEWERS, SANITARY SEWERS AND STORMWATER MANAGEMENT FACILITIES ARE TO BE PRIVATELY OWNED. THE WATER MAIN AND APPURTENANCES ARE TO BE DEDICATED TO THE MONROE COUNTY WATER AUTHORITY.
- THE CONFIGURATION AND LOCATION OF THE STORMWATER PONDS ARE SUCH THAT THE TOWN WILL NOT TAKE DEDICATION OF THEM NOW OR ANYTIME IN THE FUTURE. A STORMWATER MAINTENANCE AGREEMENT WILL BE REQUIRED. ANY FUTURE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE.
- A STORMWATER MAINTENANCE AGREEMENT IS TO BE PROVIDED TO THE TOWN TO REVIEW. THIS WILL INCLUDE THE REQUIREMENT OF AN ACCESS EASEMENT TO THE TOWN IN THE CASE THAT MAINTENANCE IS NOT BEING PERFORMED AND THE TOWN IS TO CORRECT ANY ISSUES THAT THE RESPONSIBLE PARTY HAS NOT. THIS WILL ALSO OUTLINE THE REPORTING REQUIREMENTS OF THE RESPONSIBLE PARTY TO THE TOWN.

HYDRANT FLOW TEST DATA

DATA SUPPLIED BY THE MCWA
LOCATION: SALT ROAD
TEST DATE: 9/26/23
STATIC PRESSURE = 94 PSI
OBSERVED FLOW = 1054 GPM
RESIDUAL PRESSURE = 47 PSI
C₂ = 1347 GPM

PUBLIC WATER SYSTEM NOTES

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
- MATERIAL:**
- WATER MAINS SHALL BE 8-INCH ZINC-COATED DUCTILE IRON CEMENT-LINED CLASS 52 WATER SERVICE(S) SHALL BE 1-INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1-INCH TYPE K SOFT COPPER (25 PER INCH) FROM THE CURB BOX TO THE METER.
 - WATER METERS SHALL BE LOCATED ON THE INTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDINGS. ON METERS SERVICES REQUIRING A 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
 - ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.
- TESTS:**
- SOL TEST:** THE CONTRACTOR SHALL PROVIDE A SOL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENGAGEMENT FOR ANS/ANW/C/142 PRIOR TO WATER MAIN INSTALLATION. SOL TESTING SHALL BE CONDUCTED BY AN APPROVED SOL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
 - PRESSURE TEST:** WATER MAINS TO BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATIONS. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
 - HEALTH SAMPLE:** THE WATER MAIN SHALL BE DISINFECTION EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-601, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTION THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

SANITARY SEWER NOTES

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST, AS A MINIMUM, SHALL CONFORM TO THE PROCEDURE DESCRIBED IN THE ASTM C-493-03. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. SUFFICIENTLY AHEAD OF TIME TO ALLOW REDESIGN (IF DEEMED NECESSARY). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISIONS DESIGN LOCATIONS OR TIME ALLOWED TO DO THE SAME, WHICH SHALL RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH AND THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION AND ANY OTHER AGENCY HAVING JURISDICTION.
2. THE DEVELOPERS AND CONTRACTORS ATTENTION IS DIRECTED TO LOCAL LAW NO. 4 OF 1971 REGARDING LIABILITY INCURRED THROUGH THROUGHS DISTURBANCE OR DESTRUCTION OF GEOLOGIC SURVEY MONUMENTS. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON CONTROL MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
3. ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND APPURTENANCES, NOT WITHIN A DEDICATED RIGHT-OF-WAY, SHALL BE DEDICATED TO THE PROPER GOVERNING AGENCY. THE DEDICATION SHALL BE CONDUCTED THROUGH EASEMENTS WHICH SHALL BE SHOWN AND DESCRIBED AT THE FINAL STATE OF PLANS.

GENERAL UTILITY NOTES

1. EXISTING UTILITIES LOCATIONS, SIZES, MATERIALS & INVERTS SHOWN ON THE PLANS, HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. SUFFICIENTLY AHEAD OF TIME TO ALLOW REDESIGN (IF DEEMED NECESSARY). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISIONS DESIGN LOCATIONS OR TIME ALLOWED TO DO THE SAME, WHICH SHALL RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH AND THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION AND ANY OTHER AGENCY HAVING JURISDICTION.
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3. ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND APPURTENANCES, NOT WITHIN A DEDICATED RIGHT-OF-WAY, SHALL BE DEDICATED TO THE PROPER GOVERNING AGENCY. THE DEDICATION SHALL BE CONDUCTED THROUGH EASEMENTS WHICH SHALL BE SHOWN AND DESCRIBED AT THE FINAL STATE OF PLANS.

M.C.H.D. WATER MAIN NOTES

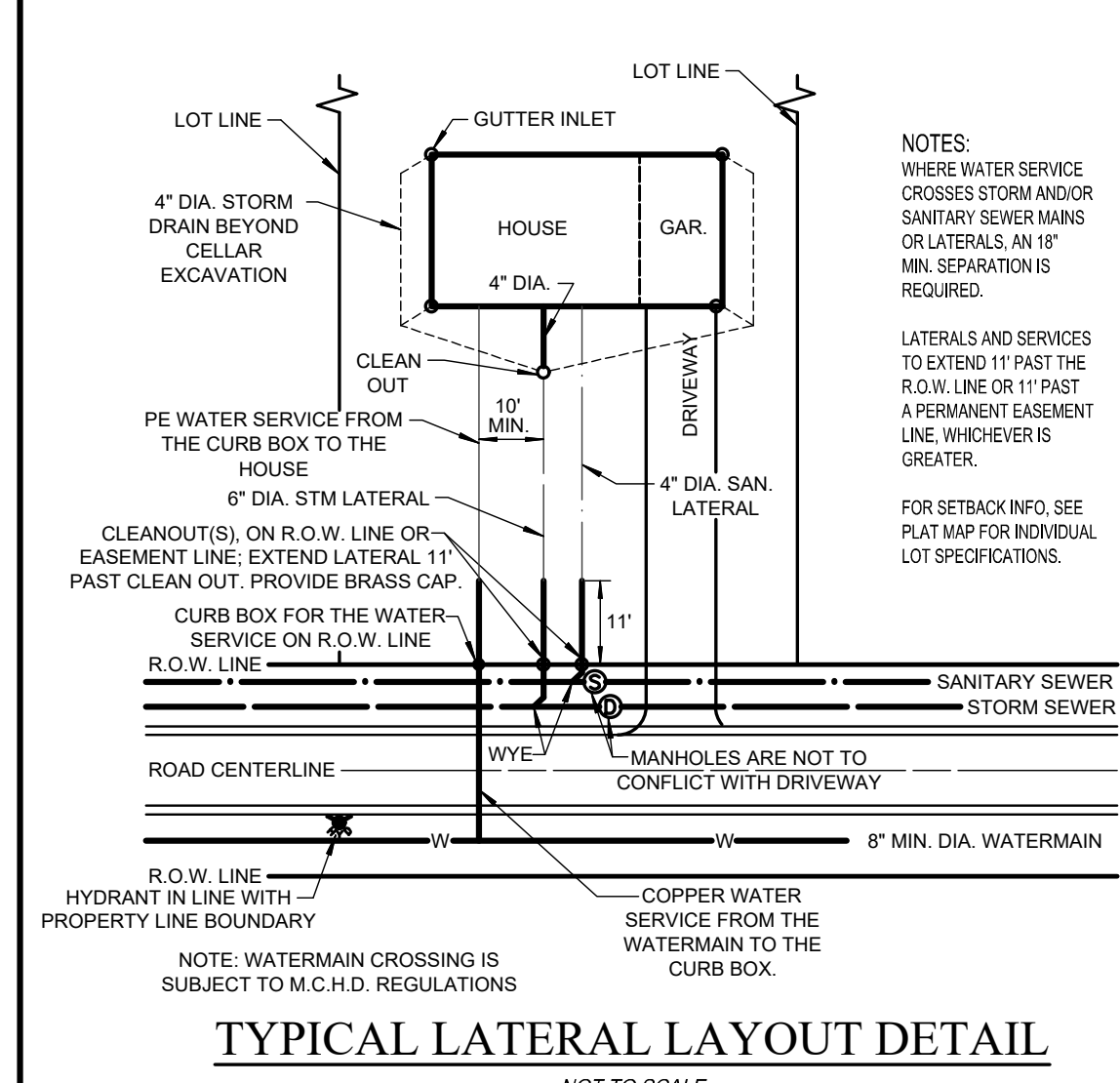
1. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING OF WATER MAINS, DESIGNATION C-601, FOLLOWING DISINFECTION THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NOT LESS THAN THAT GENERALLY PREVALENT IN THE SYSTEM. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWIRLED DURING 30 MINUTES PRIOR TO INSTALLATION. THE SAMPLING POINTS MUST BE DECONTAMINATED BY FLUSHING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
2. THE MONROE COUNTY DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7206(a) OF THE EDUCATION LAW, CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REVISIONS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL CHLORINE, FREE CHLORINE (CL₂), AND TURBIDITY. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD 1900 LATEST REVISION OR IN ACCORDANCE WITH THE M.C.H.D. WATER MAIN NOTES.

TOWN DRIVEWAY NOTES

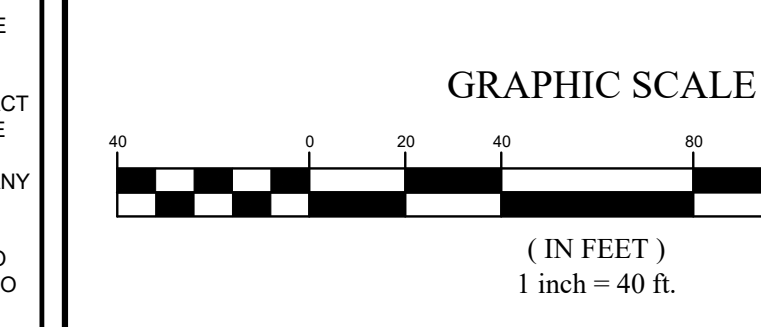
1. DRIVEWAYS ARE NOT PERMITTED OVER MANHOLES, CLEAN-OUTS, VALVES AND CATCH BASINS.
2. DRIVEWAY CONNECTIONS ARE NOT PERMITTED IN THE VICINITY OF RECEIVING BASINS AND/OR THE TEMPORARY TURNAROUND.
3. DRIVEWAY CONNECTIONS ARE NOT ALLOWED WITHIN 10' OF A HYDRANT.
4. DRIVEWAYS TO HAVE 5 FOOT MINIMUM SEPARATION.

STORM SEWER NOTES

1. STORM SEWER LATERALS, FOR SINGLE-FAMILY HOMES ARE TO BE 6" DIA. P.V.C. SDR-35, AND ARE TO EXTEND (1) ELEVEN FEET BEYOND THE RIGHT-OF-WAY LINE OR (2) ELEVEN FEET BEYOND AN EASEMENT LINE (WHICHEVER IS GREATER).
2. ROOF LEADERS SHALL BE CONNECTED TO THE STORM SEWER DRAINAGE SYSTEM VIA 4" PIPE WITH CLEANOUTS.
3. FOUNDATION DRAINS SHALL BE CONNECTED TO THE STORM SEWER LATERALS VIA A SUMP PUMP.
4. STORM SEWER PIPE MATERIAL OPTIONS ARE AS FOLLOWS: a) POLYVINYL CHLORIDE (P.V.C.) SDR-35, b) CORRUGATED POLYETHYLENE HIGH DENSITY PLASTIC (C.P.P.).
5. ALL STORM PIPE CONNECTIONS TO BE WATER TIGHT.



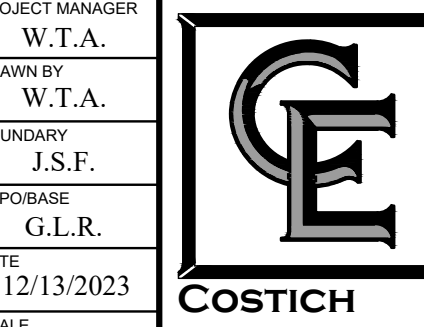
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NO.	DATE	REVISION	BY	CHKD	APPLS
17	09/26/2024	REVISED PER MCWA COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
18	09/26/2024	ADDED NOTES PER TOWN COMMENTS	J.A.P.	M.O.R.	
19	09/26/2024	REVISED PER TOWN COMMENTS	J.A.P.	M.O.R.	
20	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
21	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
22	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
23	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
24	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
25	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
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70	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
71	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
72	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
73	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
74	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
75	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
76	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
77	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
78	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
79	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
80	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
81	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
82	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
83	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
84	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
85	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
86	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
87	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
88	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
89	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
90	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
91	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
92	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
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96	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
97	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
98	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
99	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	
100	09/26/2024	REVISED PER TOWN COMMENTS DATED 9/26/2024	J.A.P.	M.O.R.	

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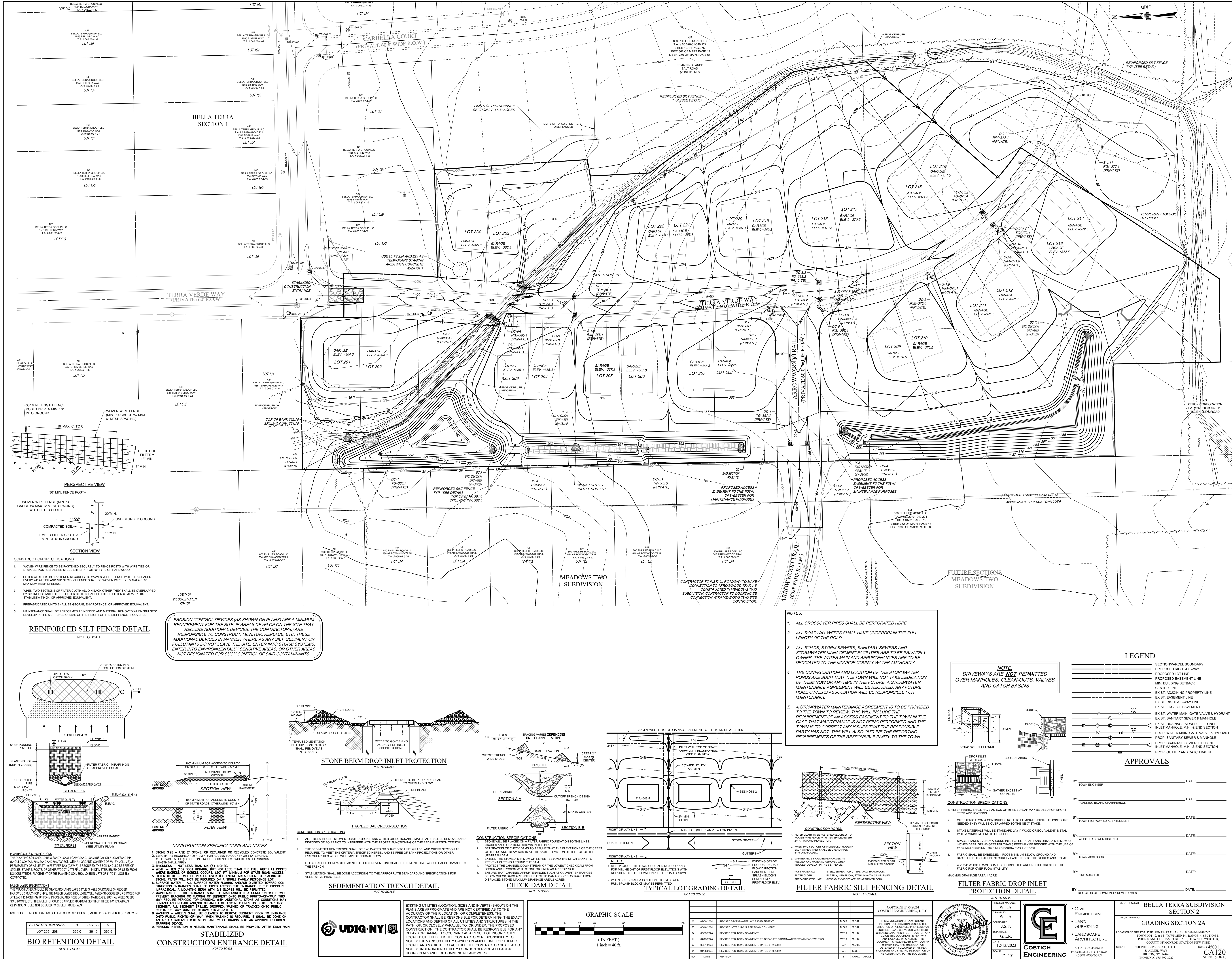
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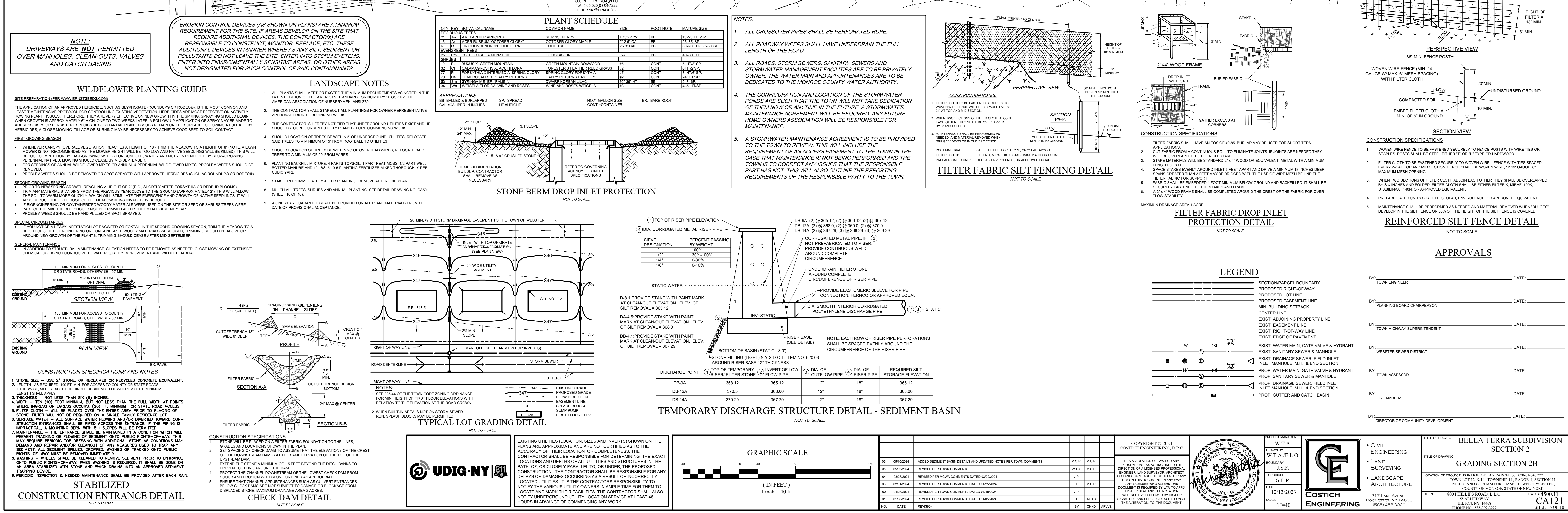
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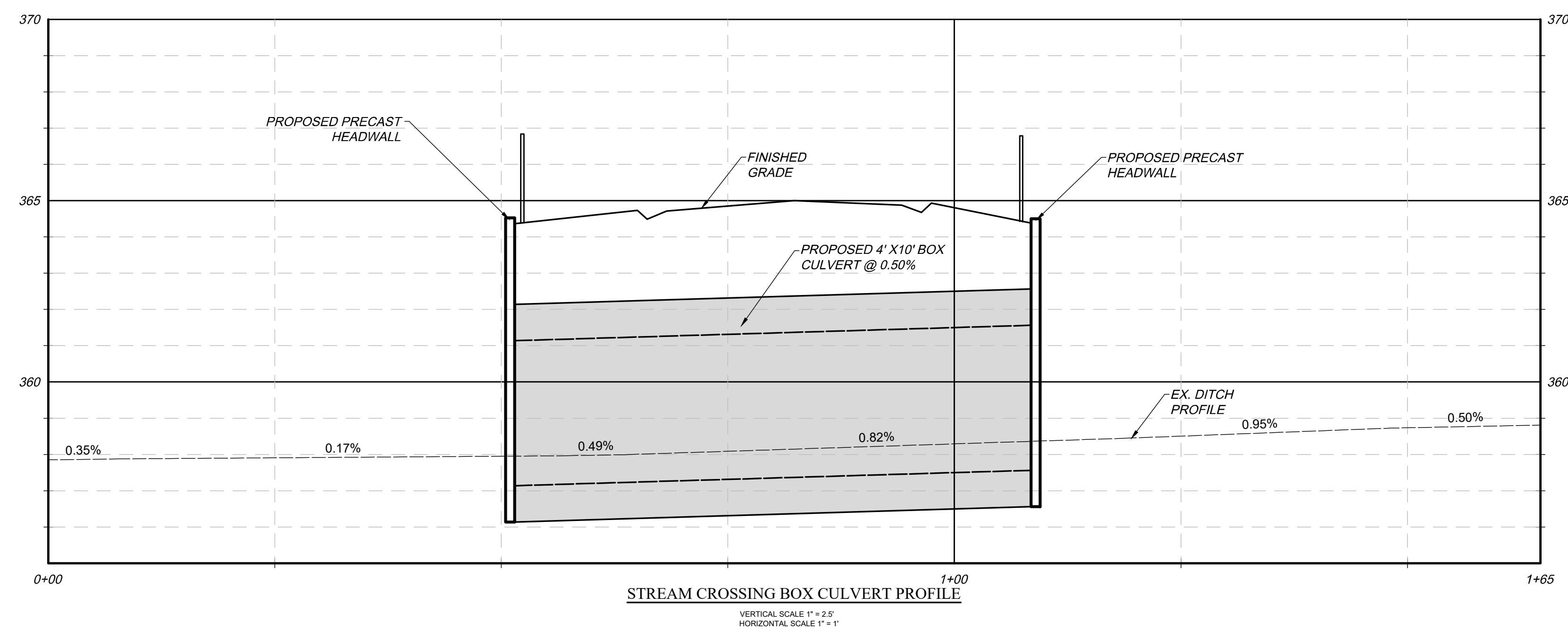
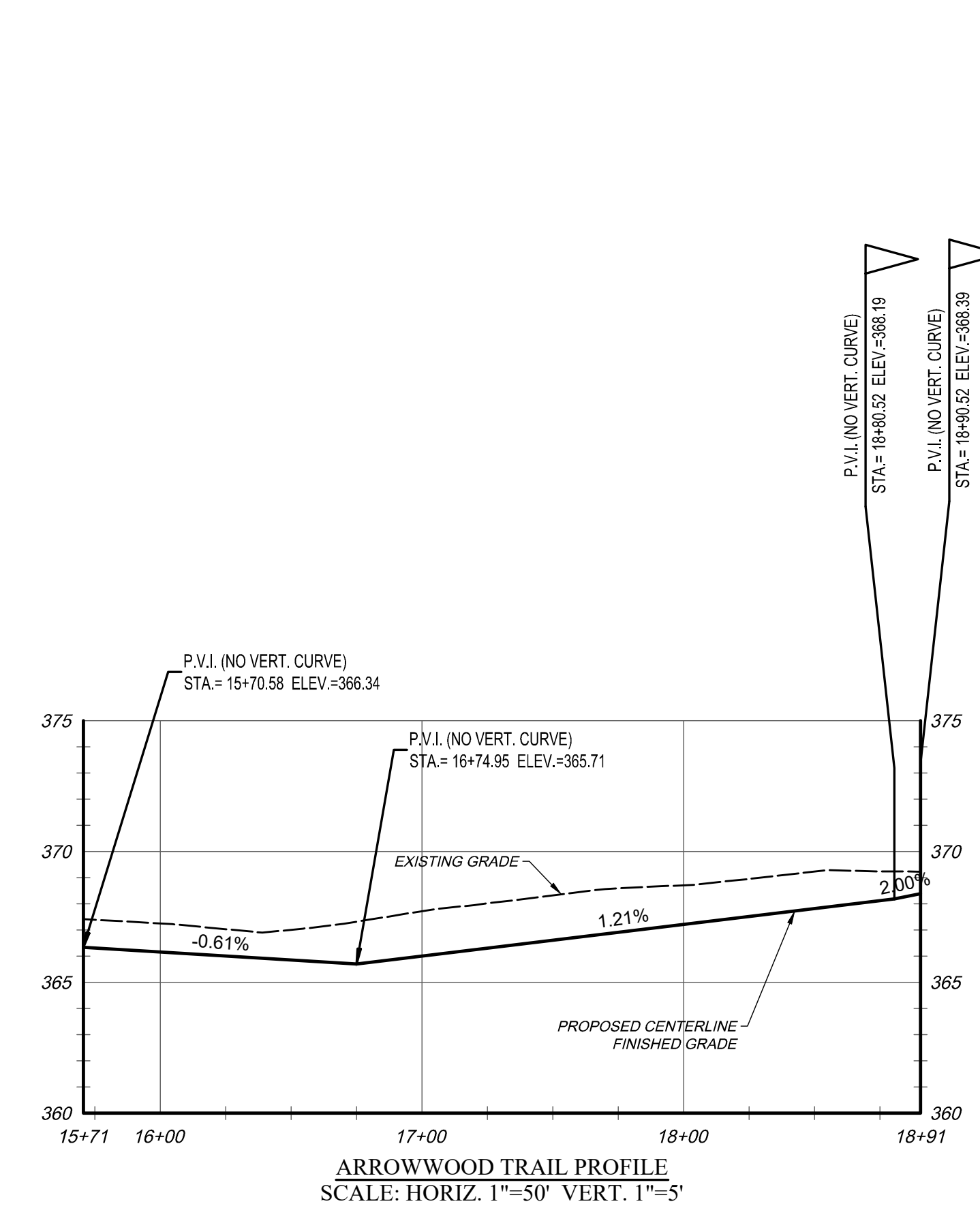
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BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN HIGHWAY SUPERINTENDENT

BY: _____ DATE: _____
WEBSTER SEWER DISTRICT

BY: _____ DATE: _____
TOWN ASSESSOR

BY: _____ DATE: _____
FIRE MARSHAL

BY: _____ DATE: _____
DIRECTOR OF COMMUNITY DEVELOPMENT

