



SURVEY NOTES

The developers and contractor's attention is directed to local law no. 6 of 2019, regarding liability incurred through disturbance or destruction of geodetic survey monuments.

The developer and contractor must locate, mark, barricade, safeguard and preserve all survey monuments and right-of-way monuments in the area. The developer and contractor must file a copy of the survey monuments go to the county of monroe surveyors office website and access the gis based internet web viewer, or contact the monroe county surveyors office.

This project is less than 5000 feet from the nearest geodetic survey monument and this project is tied into the monroe county geodetic monumentation network.

The horizontal datum used in this project is referenced to the nhd 1990 state plane area coordinate system, 1982, west monroe county projection, nad 27 through control ties to the following geodetic monuments:

1138-n (nysc) 1940/1982 N°1,182,944.30 E=811,944.70 (nad 1927)

1139-n (nysc) 1940/1982 N°1,182,686.30 E=814,040.05 (nad 1927)

Using a combined sea level and combined factor of 1.0000325, ties to aqcr 1940/1982 or better.

All distances shown on this map are referenced to the ground.

Elevations are referenced to the datum of 1928 (nysc) 1940 & 1927, referenced to the national geodetic vertical datum of 1989 (elevation 535.756).

Topographic survey was conducted on may 11, 2023.

Premises subject to a non exclusive easement for vehicular and pedestrian traffic, including but not limited to the following: the bella terra property known as terra verde way, carroll court, milano trail, sistene way and bellora way from schlegel road and salt road both a public thoroughfare for use by the public.

REFERENCES

1. Map entitled "XEROX SUBDIVISION MAP" prepared by Bergmann Associates dated June 10, 2008, having project number 4500.10 and filed in the monroe county clerk's as liber 336 of maps page 41.

2. The deeds as shown in the monroe county clerk's office, book 10731 of deeds page 75 (l) liber 336, maps page 41.

3. Map entitled "BELLA TERRA SUBDIVISION SECTION 1" prepared by costech engineering dated March 13, 2020, having project number 4500.10 and filed in the monroe county clerk's as liber 362 of map page 43 and 44.

4. Map entitled "RE-SUBDIVISION OF REMAINING LANDS OF BELLA TERRA PROPERTY" prepared by costech engineering dated March 10, 2023 having project number 4500.02 vs 300 and is filed in the monroe county clerk's office as liber 366 of maps page 68.

Using a combined sea level and combined factor of 1.0000325, ties to aqcr 1940/1982 or better.

SITE LINE & SYMBOL LEGEND

SECTION/PARCEL BOUNDARY	RIGHT-OF-WAY LINE	ADJACENT PROPERTY LINE	MIN BUILDING SETBACK	CENTER LINE	EXIST. CONCRETE CURB	EXIST. EDGE OF PAVEMENT	CENTER LINE	PROPOSED BUILDING	PROPOSED CONCRETE CURB	PROPOSED LOT LINE	PROPOSED EASEMENT LINE	EXIST. ADJOINING PROPERTY LINE	EXIST. EASEMENT LINE	EXIST. RIGHT-OF-WAY LINE	EXIST. EDGE OF PAVEMENT	EXISTING UTILITY POLE, GUY ANCHOR & POLE WILIGHT	EASEMENT DIMENSION
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APPROVALS

BY: TOWN ENGINEER	DATE: _____
BY: PLANNING BOARD CHAIRPERSON	DATE: _____
BY: TOWN HIGHWAY SUPERINTENDENT	DATE: _____
BY: WEBSTER SEWER DISTRICT	DATE: _____
BY: TOWN ASSESSOR	DATE: _____
BY: FIRE MARSHAL	DATE: _____
BY: DIRECTOR OF COMMUNITY DEVELOPMENT	DATE: _____

MONROE COUNTY DEPARTMENT OF HEALTH REALTY SUBDIVISION CONDITIONS OF APPROVAL:	
1. THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH PLANS OR FILE WITH THE MONROE COUNTY DEPARTMENT OF HEALTH.	
2. THAT THE PROPOSED PLANS FOR WATER SUPPLY AND SEWAGE DISPOSAL BE SUBMITTED FOR THIS RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.	
3. THAT AN ORIGINAL SUBDIVISION MAP, AS APPROVED THIS DATE, SHALL BE FILED IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.	
4. THAT THE COPIES OF THE APPROVED PLAN, OR IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE PROPERTY SHALL FILE A COPY OF THE APPROVED PLAN WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE OF MONROE COUNTY LAND, A SPECIAL TIME EXTENSION FOR APPROVAL WILL BE GRANTED BY THE MONROE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENTAL TIME CONSIDERATION. THE SPECIAL TIME EXTENSION FOR APPROVAL AT THAT TIME A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.	

REAL PROPERTY TAX SERVICE:	
This plan is approved in accordance with the provisions of Section 239-F, Article 2-B of the General Municipal Law and the Monroe County Municipal Sanitary Code.	
THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE DISPOSAL FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. CONSIDERATION FOR APPROVAL OF THIS MAP IS IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE B OF THE MONROE COUNTY SANITARY CODE.	
APPROVAL:	
BY: County Highway Superintendent For the Monroe County Monuments Law	
BY: Monroe County Surveyors Office	
BY: PUBLIC HEALTH ENGINEER	

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL	
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APPROVAL:	
BY: Daniel T. Hickok, N.Y.S. L.S., No. 050449	
Applicant Email: thomas@ra-mac.com	

CERTIFICATION	
WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO	
THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 11, 2023 AND FROM THE REFERENCES LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.	
By: Daniel T. Hickok, N.Y.S. L.S., No. 050449	
Date:	

APPLICANT'S SIGNATURE	
By: Daniel T. Hickok, N.Y.S. L.S., No. 050449	Date:

Applicant Email: thomas@ra-mac.com

Engineer's Email: mitchie@costech.com

Engineer's Name: mitchie@costech.com

Engineer's Phone: 585-458-3222

Engineer's Address: 217 Lake Avenue, Webster, NY 14580

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Engineer's County: Monroe

Engineer's State: NY

Engineer's Country: USA

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
Engineer's Address: 217 Lake Avenue, Webster, NY 14580

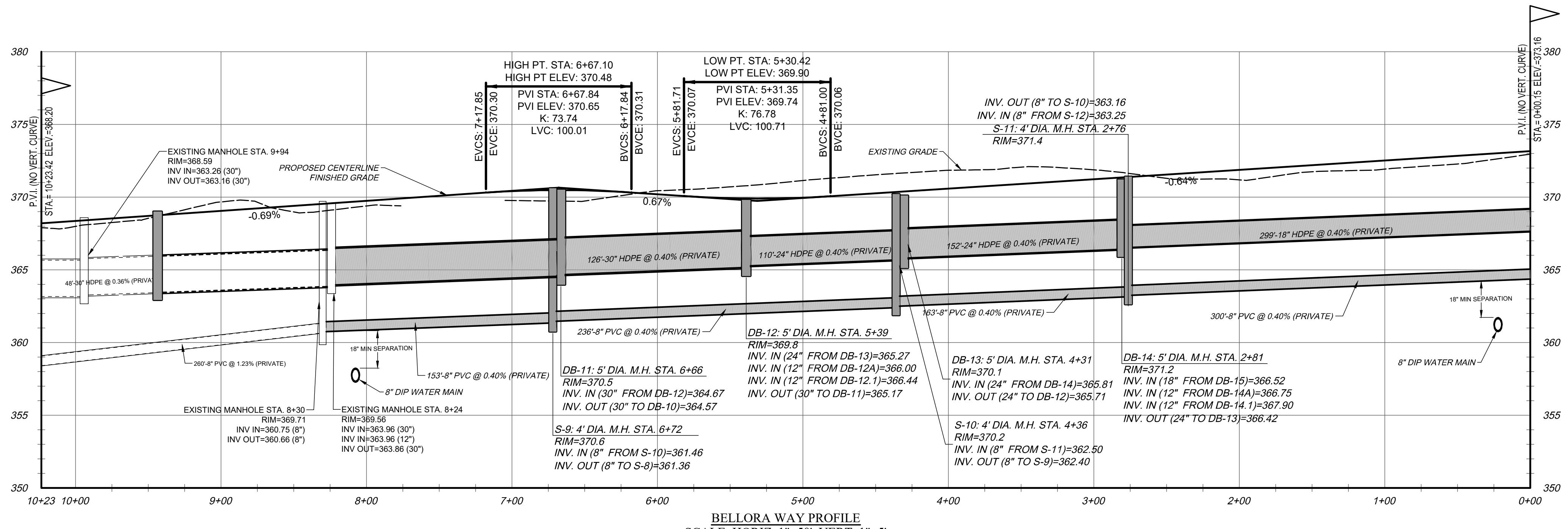
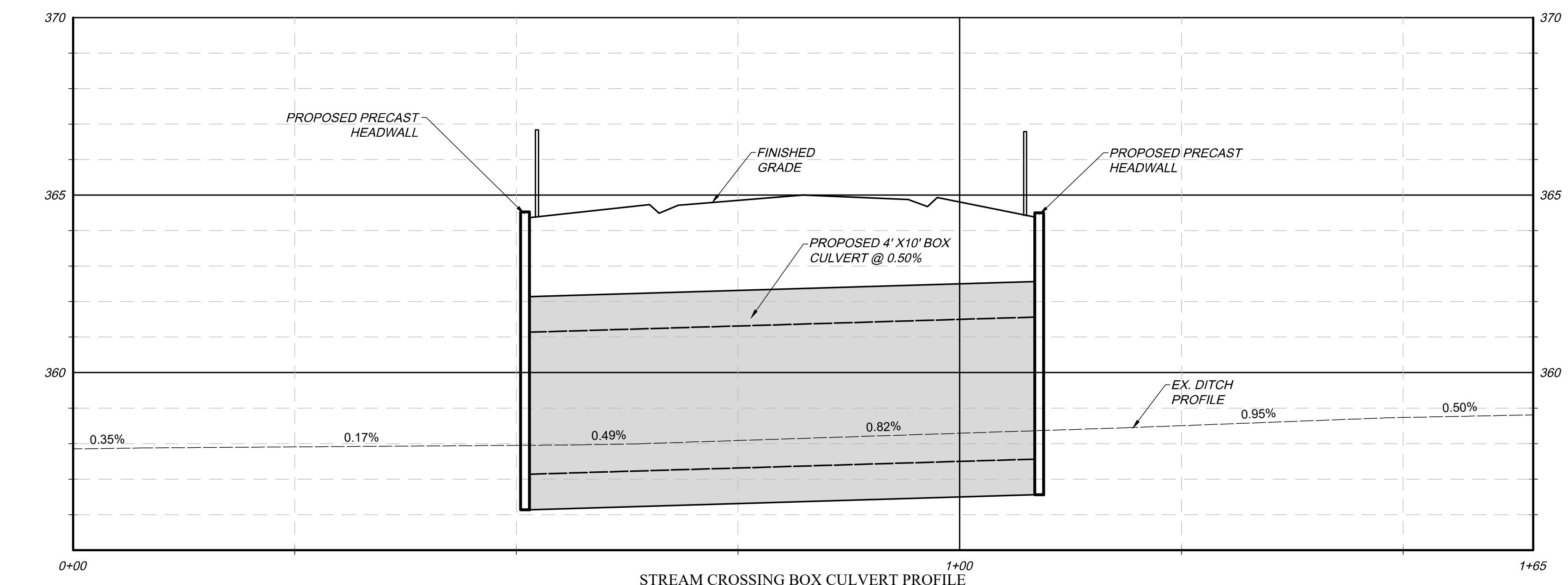
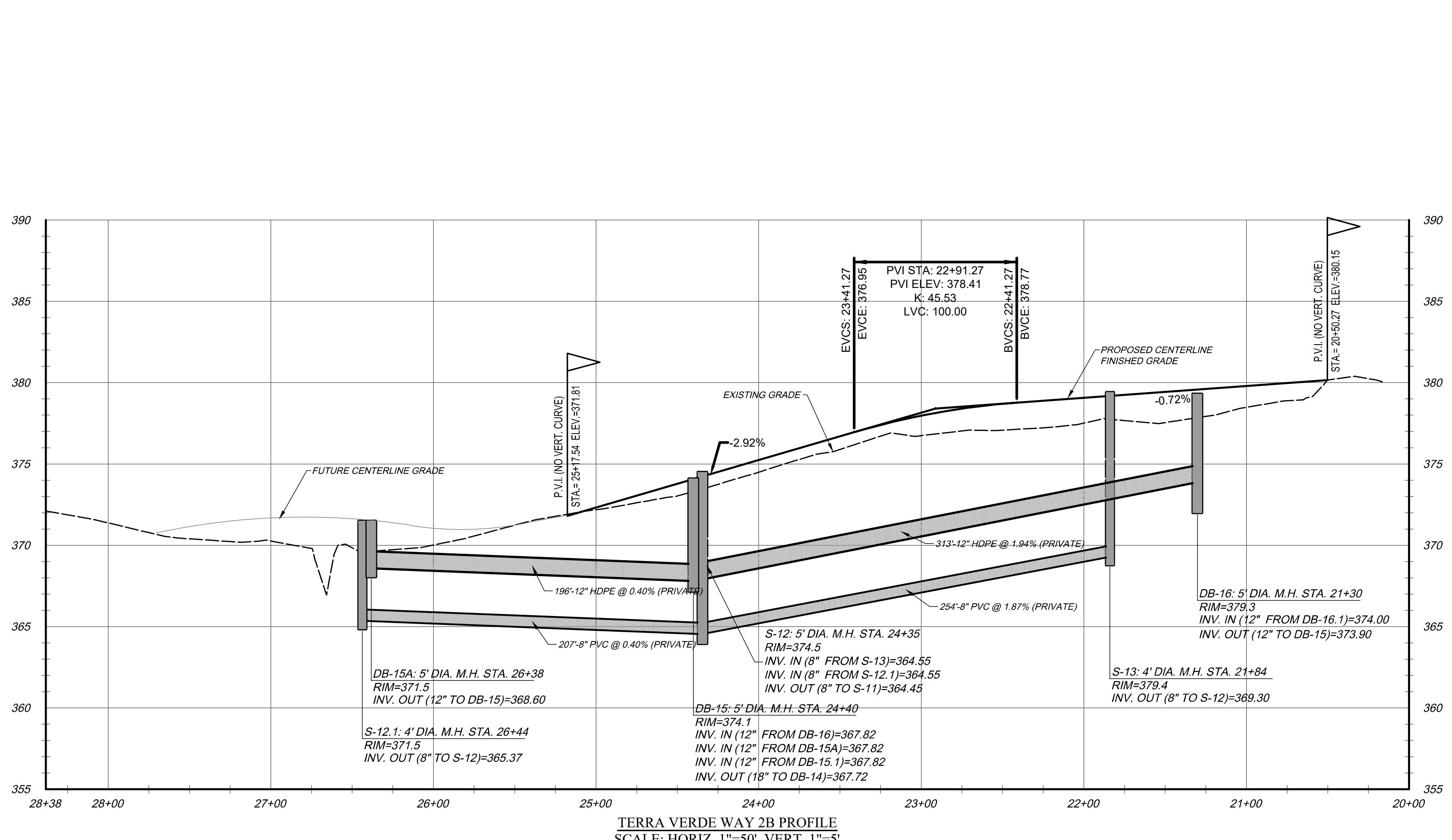
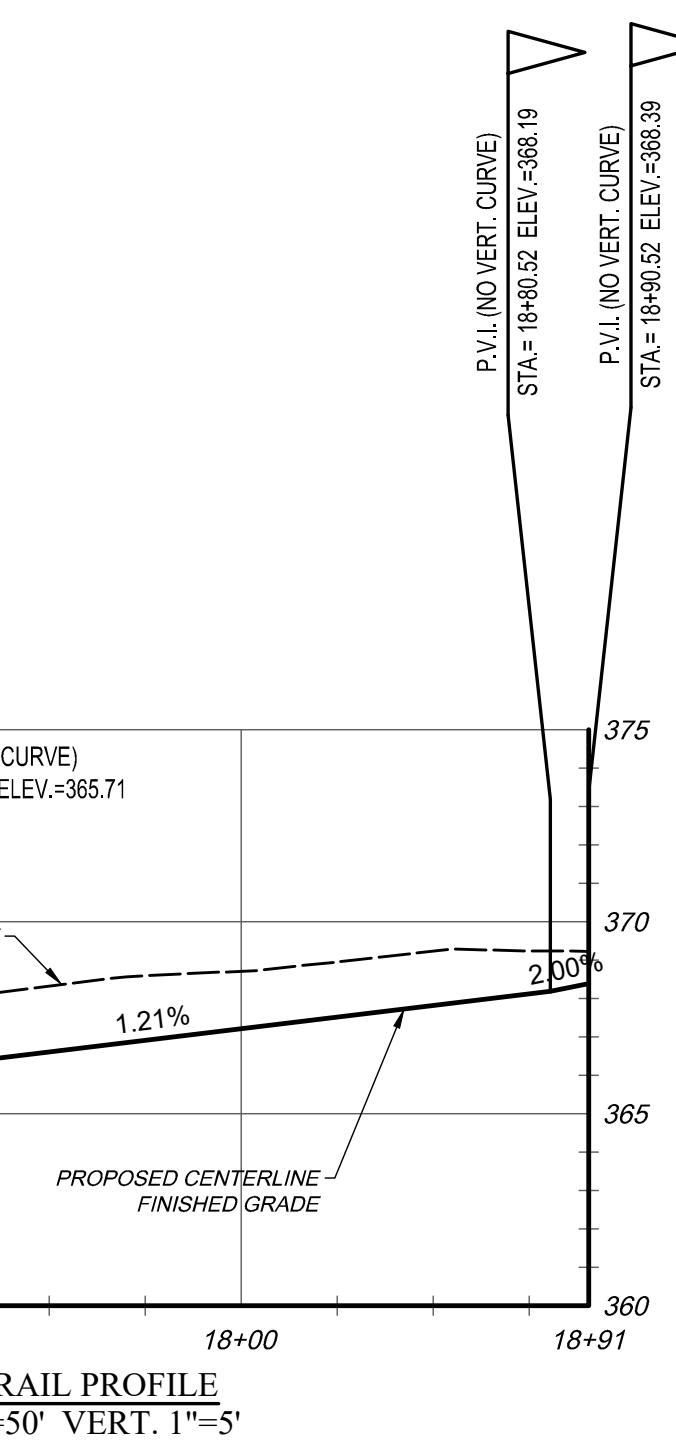
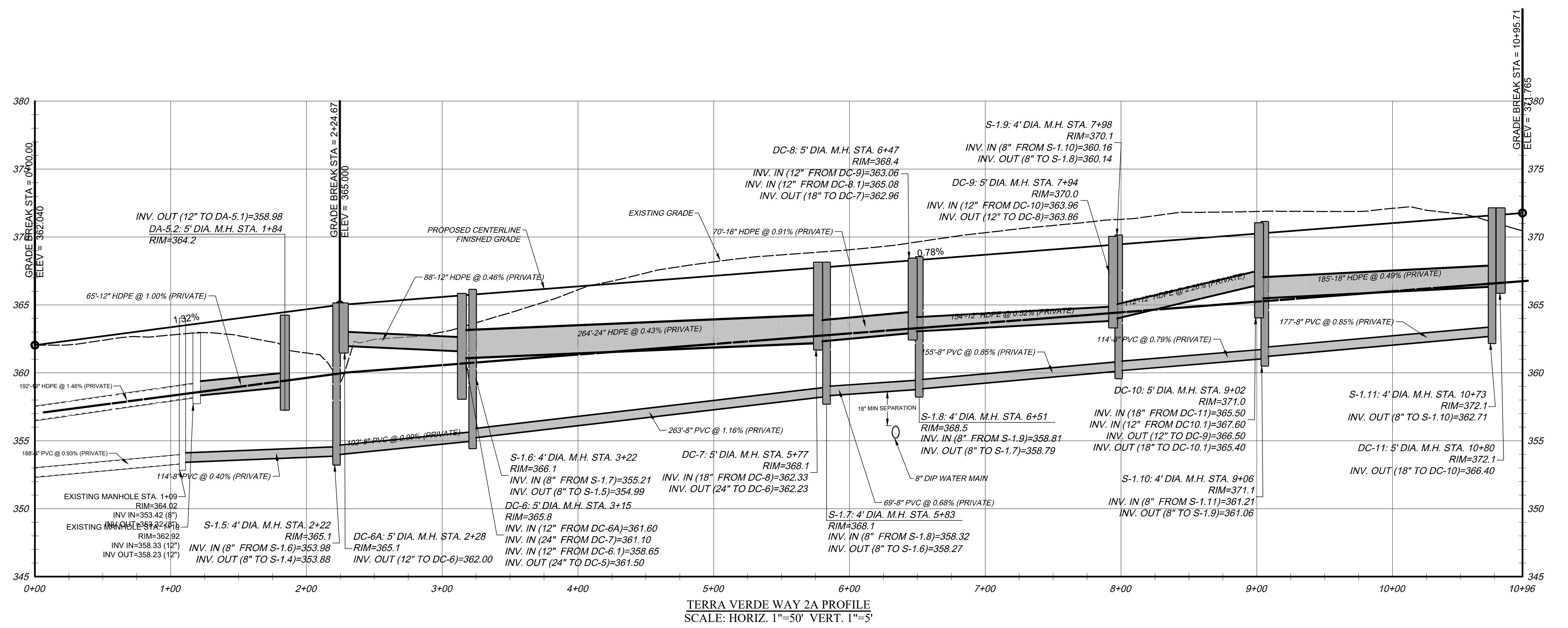
Engineer's Zip: 14580

Engineer's County: Monroe

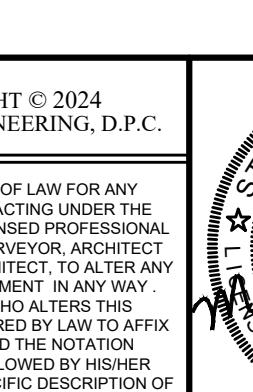
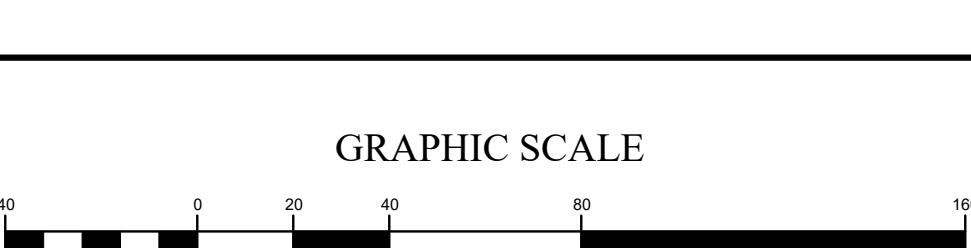
Engineer's State: NY

Engineer's Country: USA





STING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE
NS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE
CURACY OF THEIR LOCATION OR COMPLETENESS. THE
NTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT
CATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE
H. OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED
NSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY
LAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY
CATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO
TIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO
CATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO
TIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48



PROJECT MANAG
W.T.A.
DRAWN BY
W.T.A.
BOUNDARY
J.S.F.
OPO/BASE
G.L.R.
DATE
12/13/202
SCALE

GER
23

The GE logo, consisting of a stylized 'G' and 'E' in a bold, blocky font.

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- CIVIL ENGINEER
- LAND SURVEYOR
- LANDSCAPE ARCHITECT

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AVENUE
NY 14608

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**ERRA S
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